

SKETCH SITE PLANS

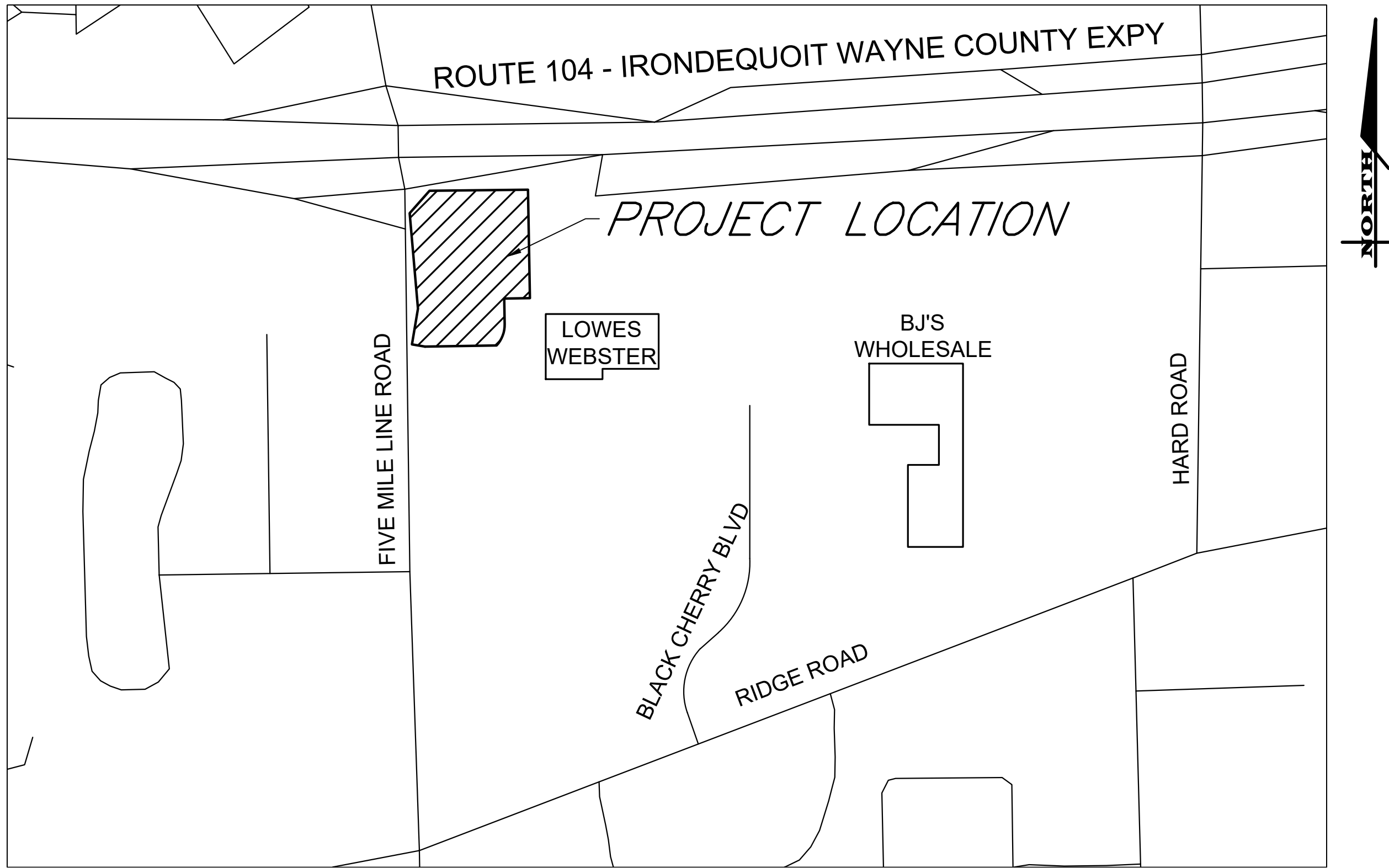
for

PIRANHA RENTS IN WEBSTER

FIVE MILE LINE ROAD

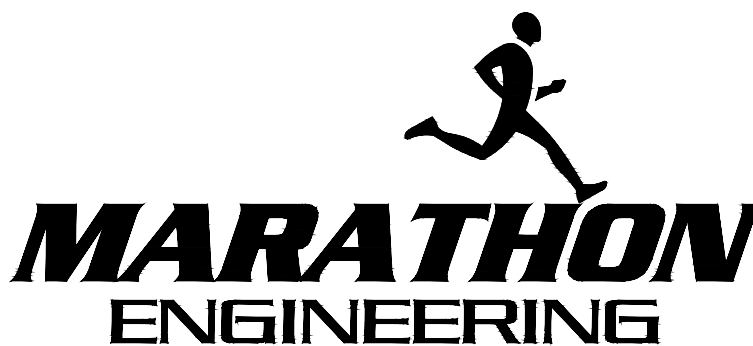
SITUATE IN:

TOWN OF WEBSTER - MONROE COUNTY - STATE OF NEW YORK



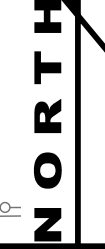
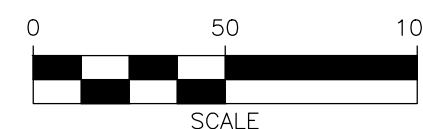
LOCATION MAP

NOT TO SCALE



ROCHESTER LOCATION
39 CASCADE DRIVE
ROCHESTER, NY 14614
585 - 458 - 7770
ITHACA LOCATION
840 HANSHAW RD, STE 6
ITHACA, NY 14850
607 - 241 - 2917
www.marathoneng.com

SHEET SCHEDULE		
No.	DWG. No.	DESCRIPTION
1	C1.0	OVERALL PLAN
2	V1.0	EXISTING CONDITIONS & DEMOLITION
3	C2.0	LAYOUT AND UTILITY PLAN
4	C3.0	GRADING & EROSION CONTROL PLAN
5	C4.0	LIGHTING & LANDSCAPING PLAN
6	C5.0	CONSTRUCTION DETAILS
7	C5.1	CONSTRUCTION DETAILS



1.1. ADDRESS: FIVE MILE LINE RD
1.2. PARCEL TAX NUMBERS: 79.10-1-2.1
1.3. OWNER: HEGEDORNS FAMILY LLC
1.4. AREA: 7.943 ACRES

2.1. **ZONING DISTRICT:** HC - HIGH INTENSITY COMMERCIAL
2.2. **PROPOSED USE:** CONSTRUCTION EQUIPMENT/RENTAL AND MAINTENANCE

	<u>REQUIRED</u>	<u>PROVIDED</u>
3.1. LOT SIZE.....	2 AC	7.9 AC
3.2. FRONT SETBACK	150 FT	150.3 FT
3.3. SIDE SETBACK	75 FT	107.4 FT
3.4. REAR SETBACK	50 FT	510.8 FT
3.6. MAX BUILDING COVERAGE.....	20%	1.3 %

5.1. REQUIRED	14⁽¹⁾
5.2. PROVIDED	15

⁽¹⁾ 1 SP PER 175 GROSS FLOOR AREA (OFFICE/SHOWROOM)
1600 SF OFFICE & SHOWROOM / 175 = 10 SP

ENOUGH SPACES SO NO EMPLOYEES NEED TO PARK ON THE STREET
4 EMPLOYEES = 4 SP

[illegible]

ADJACENT PROPERTY LINE

PROJECT PROPERTY LINE

EASEMENT LINE

RIGHT OF WAY (HIGHWAY BOUNDARY)

SIGN

EXISTING POWER POLE

LIGHT POLE

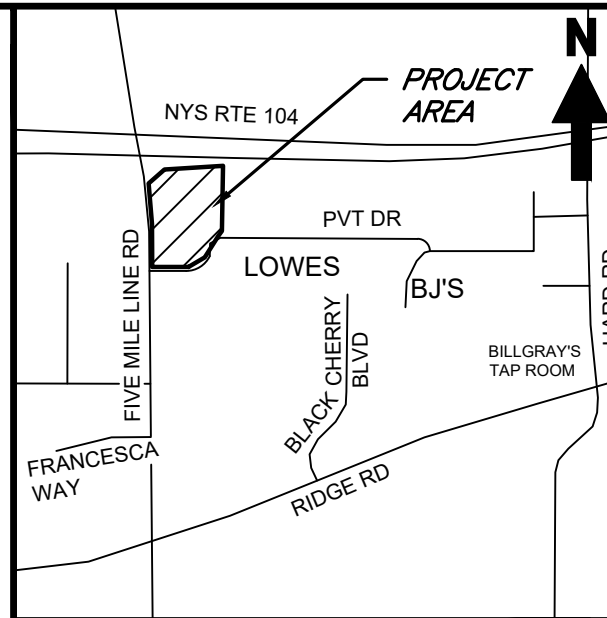
EXISTING FENCE (DESCRIPTION)

PROPOSED FENCE (DESCRIPTION)

PROPOSED PARKING SPACE COUNT

CURB

TOWN OF WEBSTER
LOCATION MAP
NOT TO SCALE



MARATHON
ENGINEERING

ROCHESTER LOCATION

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SKETCH SITE PLANS for PIRANHA RENTS IN WEBSTER

TOWN OF WEBSTER
FIVE MILE LINE ROAD
MONROE COUNTY
STATE OF NEW YORK

JOB NO: 1843-25
SCALE: 1"=50'
DRAWN: RLB
DESIGNED: MPT
DATE: 09/19/2025

REVISIONS		
DATE	BY	REVISION

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW ARTICLE 145, SECTION 7209 FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER IN ANY WAY, AN ITEM BEARING THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR. IF AN ITEM BEARING THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE, AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

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DRAWING TITLE:
OVERALL PLAN

1 of 7

SHEET No:

1843-25

C1.0

DRAWING No:

SURVEY NOTES

1. MAPPING - THE EXISTING UNDERGROUND UTILITIES WERE PLOTTED BASED ON RECORD MAPPING SUPPLIED BY OTHERS. THE ENGINEER MAKES NO WARRANTY AS TO THE LOCATION, SIZE, TYPE, ELEVATION, AND/OR NUMBER OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE VICINITY OF THE NEW INFRASTRUCTURE.

- SANITARY SEWERS WERE PLOTTED FROM RECORD MAPS RECEIVED FROM THE TOWN OF WEBSTER ON 07/10/2025
- WATER SERVICES AND MAINS WERE PLOTTED FROM RECORD MAPS RECEIVED FROM MONROE COUNTY WATER AUTHORITY ON 07/07/2025
- STORM SEWER DATA WAS RECORDED IN THE FIELD BY MARATHON ENGINEERING ON 07/22/2025.
- UNDERGROUND GAS SERVICES AND MAINS WERE PLOTTED FROM RECORD MAPS RECEIVED FROM R&E ON 07/09/2025
- UNDERGROUND ELECTRIC LINES WERE PLOTTED FROM RECORD MAPS RECEIVED FROM R&E ON 07/09/2025
- UNDERGROUND FIBER OPTIC LINES WERE PLOTTED FROM RECORD MAPS RECEIVED FROM CROWN CASTLE ON 08/12/2025
- UNDERGROUND TELEPHONE LINES WERE PLOTTED FROM CHARTER COMMUNICATIONS ON 07/09/2025 & FRONTIER TELEPHONE ON 08/01/2025

2. STAKEOUT - THE CONTRACTOR SHALL NOTIFY DIG SAFELY NEW YORK (1-800-962-7962) FOR A UTILITY STAKEOUT 48 HOURS IN ADVANCE OF COMMENCING WORK. STAKEOUT OF PRIVATE UTILITIES SHALL BE COORDINATED WITH THE OWNER.

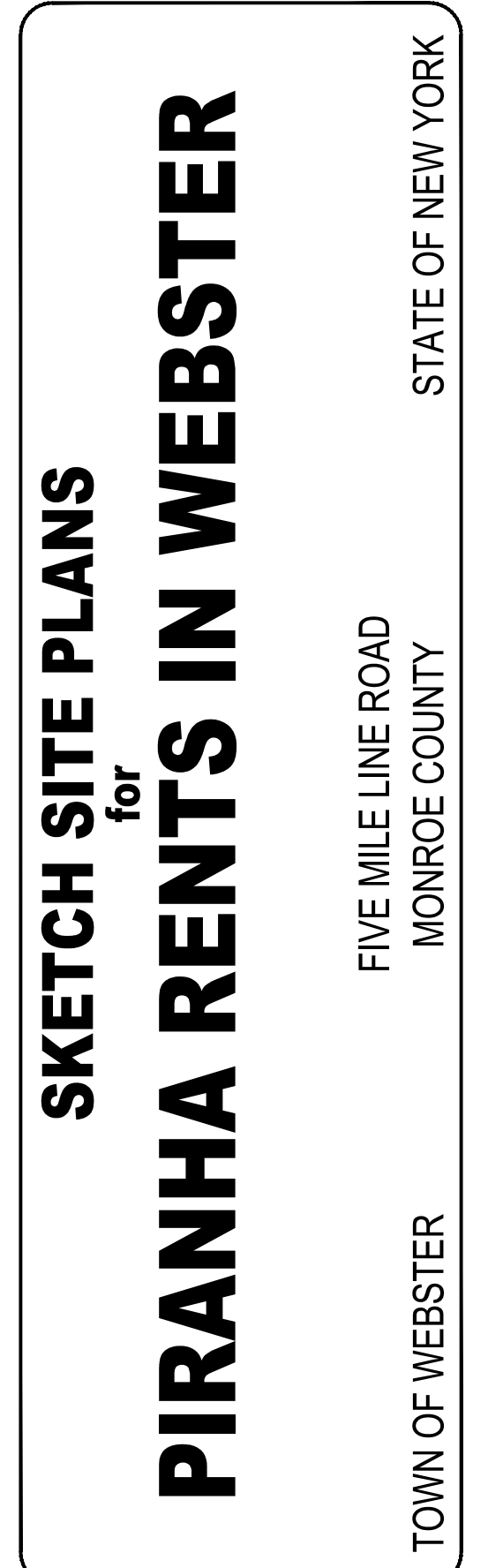
3. BOUNDARY - BOUNDARY INFORMATION WAS TAKEN FROM THE MAPS AND DOCUMENTS REFERENCED ON THIS SHEET.

4. DATUM - THE VERTICAL DATUM IS NAVD88. THE HORIZONTAL DATUM IS NAD83 WESTERN ZONE.


5. FLOODPLAIN - THE PROPERTY IS LOCATED IN ZONE 'X' & 'AE' AND IS LOCATED GRAPHICALLY IN THE FLOODPLAIN AS SHOWN ON COMMUNITY PANEL NO 3605550228G, DATED 08/28/2008

LEGEND:

-
- PROJECT PROPERTY LINE
 ADJACENT PROPERTY LINE
 EASEMENT LINE
 REBAR, IRON PIN/PIPE & MONUMENT
 SIGN & 2 POST SIGN
 EXISTING FENCE
 SHRUB, CONIFER TREE & DECIDUOUS TREE
 EXISTING MAJOR CONTOUR
 EXISTING MINOR CONTOUR
 SWALE
 EXISTING STORM MAIN, MANHOLE & INLET
 EXISTING SANITARY MAIN & MANHOLE
 EXISTING WATER MAIN, VALVE & HYDRANT
 EXISTING GAS MAIN, VALVE & GAS METER
 ELEC. MH, TRANSFORMER, EMETER & HANDHOLE
 UNDERGROUND ELECTRIC CONDUIT
 OVERHEAD WIRE, POWER POLE, GUY WIRE, & LIGHT POLE
 EXISTING TELEPHONE CONDUIT & STRUCTURE

[illegible]

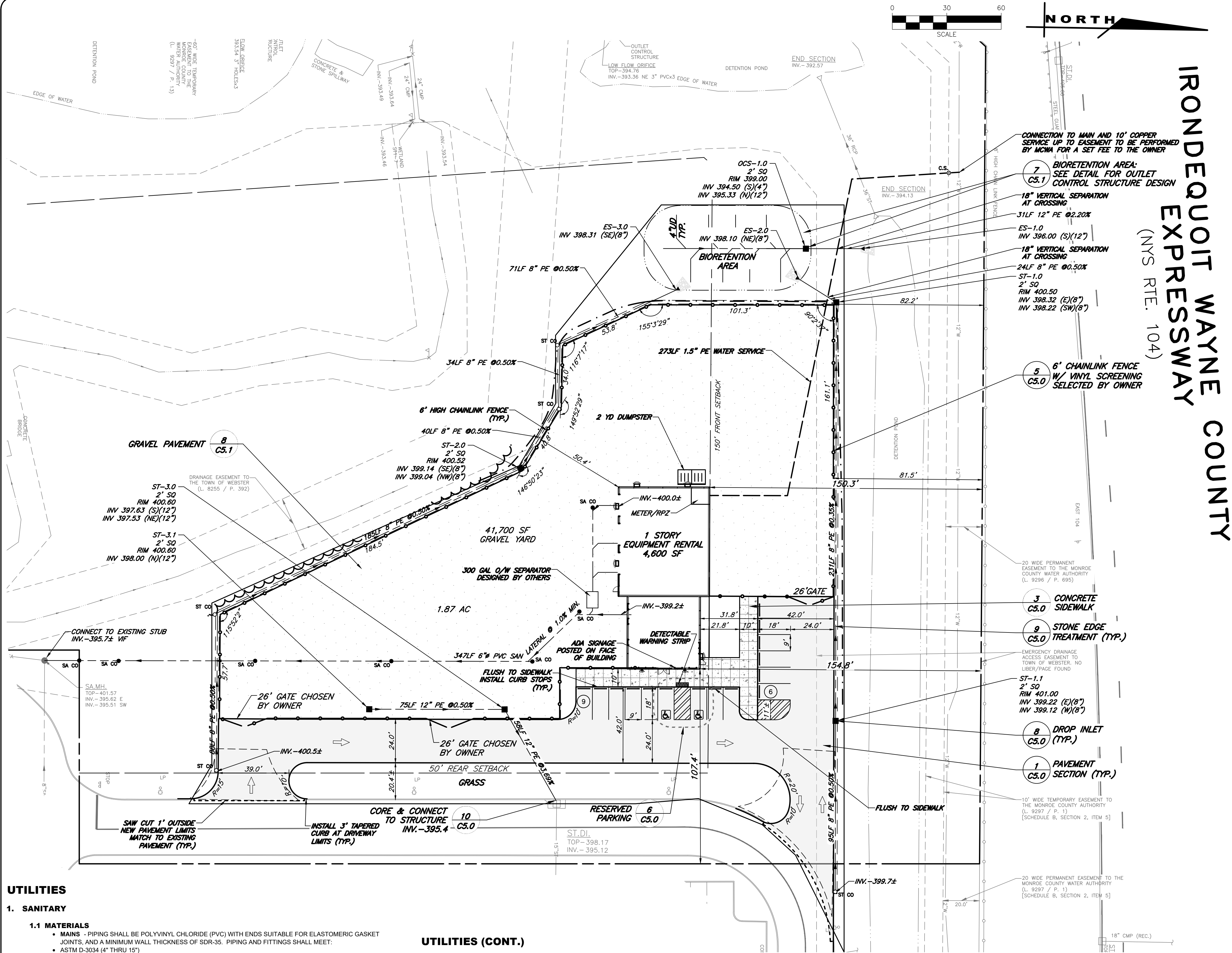
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ROBERT P. BRINGLEY

2 of 7 SHEET No:	V1.0
1843-25 JOB No:	DRAWING No:

File: Z:\Engineering\Job Files\1843-25 Drawings\1843 C2.0 LAYOUT UTIL.dwg, Last saved: 9/15/2025, Plot Date: 9/19/2025, By: RAFAEL BARRETO, Plot Style: MARATHON STANDARD.CTB



IRONDEQUOIT WAYNE COUNTY EXPRESSWAY (NYS RTE. 104)

UTILITIES

1. SANITARY

1.1 MATERIALS

- MAINS** - PIPING SHALL BE POLYVINYL CHLORIDE (PVC) WITH ENDS SUITABLE FOR ELASTOMERIC GASKET JOINTS, AND A MINIMUM WALL THICKNESS OF SDR-35. PIPING AND FITTINGS SHALL MEET:
 - ASTM D-3034 (4" THRU 15")
 - ASTM F-679 (18" THRU 48")
- LATERALS** - PIPING SHALL BE POLYVINYL CHLORIDE (PVC) WITH ENDS SUITABLE FOR ELASTOMERIC GASKET JOINTS, AND A MINIMUM WALL THICKNESS OF SDR-21. PIPING AND FITTINGS SHALL MEET ASTM D-2241.
- JOINTING MATERIALS** - SHALL BE BELL-AND-SPIGOT WITH INTEGRAL PUSH ON TYPE ELASTOMERIC GASKET JOINTS. GASKET MATERIAL TO BE NEOPRENE MEETING ASTM D-3012.
- MANHOLES** - SHALL BE PRECAST CONCRETE WITH NEOPRENE GASKETS MEETING ASTM C-478 & ASTM C-443.

- 1.2 INFILTRATION/ EXFILTRATION** - MAXIMUM ALLOWABLE INFILTRATION OR EXFILTRATION SHALL NOT EXCEED 100 GALLONS PER INCH DIAMETER PER MILE OF PIPE PER DAY FOR THE SANITARY SEWER, IF AN AIR TEST IS USED. THE TEST AS A MINIMUM SHALL CONFORM TO THE PROCEDURE DESCRIBED IN ASTM F1417 ENTITLED STANDARD PRACTICE FOR INSTALLATION ACCEPTANCE OF PLASTIC NON-PRESSURE SEWER LINES USING LOW-PRESSURE AIR. SANITARY MANHOLES SHALL BE VISUALLY INSPECTED AND TESTED FOR LEAKAGE BY EX FILTRATION OR VACUUM. AIR VACUUM TESTING OF MANHOLES SHALL BE PERFORMED IN ACCORDANCE WITH ASTM C-1244.

- 1.3 FLOOR DRAINS** - FLOOR DRAINS, IF CONSTRUCTED IN THE PROJECT, MUST BE CONNECTED TO THE SANITARY SEWER. **NOTE:** FLOOR DRAINS DO NOT INCLUDE FOUNDATION OR FOOTER DRAINS INSTALLED TO INTERCEPT UNCONTAMINATED GROUND WATER. ALL DISCHARGES FROM THE FLOOR DRAINS TO THE SANITARY SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR THE MONROE COUNTY SEWER USE LAW.

- 1.4 TESTING** - DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPE. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5% OF THE DEFLECTION TEST IS TO BE RUN USING A RIGID BALL OR MANDEREL. IT SHALL HAVE A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.

- 1.5 SEPARATION** - MINIMUM VERTICAL SEPARATION BETWEEN WATER MAINS AND SEWER LINES SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. ONE FULL STANDARD LAYING LENGTH OF WATER MAIN PIPE SHALL BE CENTERING UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PASSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING OF THE SEWER ON THE WATER MAIN. MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER MAINS AND SEWER PIPES (INCLUDING MANHOLES AND VAULTS) SHALL BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES, MANHOLES OR VAULTS.

UTILITIES (CONT.)

2. STORM

- 2.1 REGULATIONS** - STORM SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE LATEST REGULATIONS OF THE MUNICIPALITY AND ALL THERMOPLASTIC PIPE SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D-2321.

- 2.2 MATERIALS** - THE CONTRACTOR MAY USE THE FOLLOWING PIPE MATERIAL FOR THE MAIN SEWER AS ALLOWED BY THE MUNICIPALITY, PROVIDING THAT THE ROUGHNESS COEFFICIENT ("N" FACTOR) IS 0.013 OR BETTER:
 - REINFORCED CONCRETE PIPE (RCP), CLASS III
 - HIGH DENSITY CORRUGATED POLYETHYLENE PIPE (PE), AASHTO M-294, TYPE S, ASTM D-3350.

- 2.3 ROOF DRAINAGE** - ALL ROOF DRAINAGE SHALL BE COLLECTED AND PIPED TO THE STORM SEWER SYSTEM UNLESS SPECIFIED OTHERWISE.

- 2.4 TESTING** - UPON COMPLETION OF SYSTEM INSTALLATION, THE MAIN SEWER SYSTEM AND LEADS TO STRUCTURES SHALL BE FLUSHED AND LAMPED TO THE SATISFACTION OF THE MUNICIPALITY.

3. WATER

- 3.1 WATER SERVICE LINES** SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND SPECIFICATIONS OF THE WATER AUTHORITY.

- 3.2 WATER SERVICE LINES** SHALL HAVE A MINIMUM OF FIVE FEET OF COVER FROM FINISHED GRADE IN LAWN AREAS AND SIX FEET OF COVER FROM FINISHED GRADE IN PAVED AREAS.

- 3.3 WATER SERVICE LINES** SHALL BE SEPARATED AT LEAST TEN FEET, MEASURED FROM THE OUTSIDE OF THE PIPES, FROM SEWER MAINS OR SEPTIC SYSTEMS.

- 3.4 WATER SERVICE LINES** SHALL BE IDENTIFIED AS:

LATERAL IDENTIFICATION	SIZE (a)	MATERIAL	TYPE (c)
MCWA PORTION = FROM THE WATER MAIN TO AND INCLUDING THE CONTROL VALVE ON THE ROW/PROPERTY/EASEMENT LINE	1.5"	COPPER TYPE K	DOM
PRIVATE PORTION = FROM THE CONTROL VALVE TO THE METER	1.5"	PE	DOM

- (a) MINIMUM SIZE IS 1-INCH.
- (b) ACCEPTABLE MATERIAL FOR PRIVATE PORTION IS EITHER TYPE "K" COPPER OR POLYETHYLENE PLASTIC (PE) #4710, SDR 9, ASTM 2737, NSF-PW, 250 PSI (1,125' OD)
- (c) SERVICE TYPES INCLUDE: DOMESTIC = DS, FIRE = FS, OR COMBINED = CMB

- 3.5** THE WATER AUTHORITY'S PORTION OF THE SERVICE LINE SHALL BE INSTALLED AFTER THE PRIVATE PORTION OF SERVICE IS INSTALLED.

- 3.6** WATER METER(S) TO BE LOCATED ON THE INTERIOR OF EXTERIOR WALL(S) IMMEDIATELY UPON SERVICE ENTRANCE INTO THE BUILDING(S), OR IN A METER TIE WHEN CONDITIONS WARRANT. A BY-PASS ASSEMBLY IS NOT REQUIRED AROUND THE INSTALLATION OF 5/8-INCH THROUGH 1-INCH METERS. METER INSTALLATIONS GREATER THAN 1-INCH MAY REQUIRE A BY-PASS ASSEMBLY AROUND THE METER.

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SKETCH SITE PLANS for PIRANHA RENTS IN WEBSTER

STATE OF NEW YORK

FIVE MILE LINE ROAD
MONROE COUNTY

TOWN OF WEBSTER

JOB NO: 1843-25
SCALE: 1"=30'
DRAWN: RLB
DESIGNED: MPT
DATE: 09/19/2025

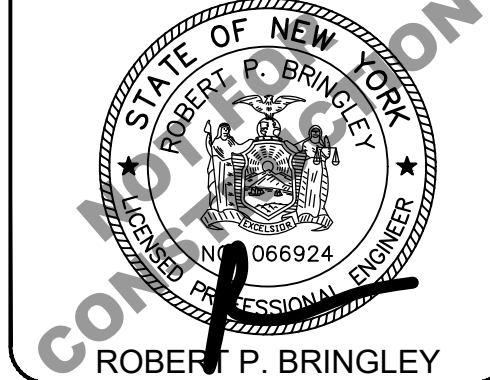
REVISIONS

DATE	BY	REVISION
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DATE	BY	REVISION

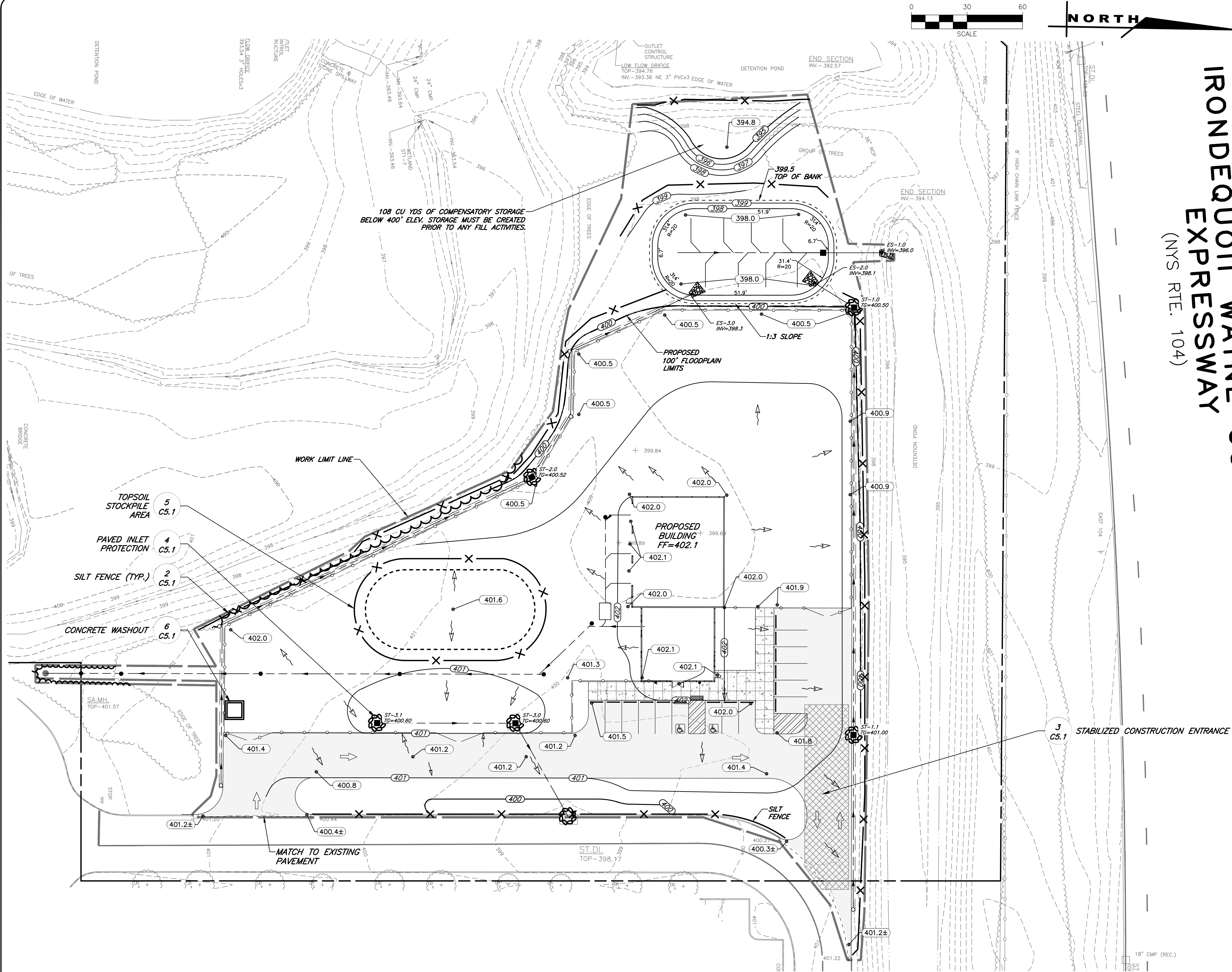
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DRAWING TITLE:
LAYOUT AND
UTILITY PLAN

3 of 7
SHEET No: C2.0
1843-25
JOB No: DRAWING No:



EARTHWORK

- 1. PREPARATION** - PRIOR TO START OF EARTHWORK OPERATIONS THE CONTRACTOR SHALL COMPLETE THE FOLLOWING APPLICABLE ITEMS AS DEFINED BY CONTRACT DOCUMENTS:
- **SITE DEMOLITION** - REMOVAL AND DISPOSAL OFF-SITE IN A LEGAL MANNER; STRUCTURES, UTILITIES, PAVEMENTS, ETC.
 - **CLEANING AND GRUBBING** - REMOVAL AND DISPOSAL OFF-SITE IN A LEGAL MANNER; TREES, BRUSH, STUMPS, ETC.
 - **TOPSOIL STRIPPING** - STRIP AND STOCKPILE TOPSOIL FOR REUSE. EXCESS TOPSOIL MAY BE REMOVED FROM SITE WITH APPROVAL BY OWNER AND MUNICIPALITY.
- 2. RESPONSIBILITY** - THE CONTRACTOR IS RESPONSIBLE FOR:
- **ESTIMATE** - COMPLETION OF A QUANTITY TAKEOFF TO DETERMINE THE VOLUME OF CUT, FILL, AND TOPSOIL. COMPUTE AND COORDINATE WITH INFORMATION PROVIDED BY THE DESIGN ENGINEER.
 - **GRADE TOLERANCES** - ESTABLISHING DESIGN SUBGRADE ELEVATIONS TO WITHIN ONE TENTH OF ONE FOOT (0.10") IN PAVEMENT AREAS (INCLUDING WALKS) AND TO WITHIN THIRTY-THREE HUNDRETHS OF ONE FOOT (0.33") FOR ALL REMAINING AREAS.
 - **COMPACTION** - ACHIEVING COMPACTION VALUES (NOT LESS THAN THE PERCENTAGES SPECIFIED BELOW) FOR EMBANKMENT/FILL AREAS. THE TERMS "FILL" AND "EMBAKMENT" ARE INTERCHANGEABLE.
 - **CONSTRUCTION** - ONCE ELEVATIONS ARE SET TO THE DESIGN GRADES THE AREAS SHALL BE PROTECTED TO ASSURE THAT THE INTEGRITY OF MATERIAL IS NOT COMPROMISED BY CONSTRUCTION VEHICLES AND/OR IMPROPER DRAINAGE. AREAS DETERMINED BY CONTRACTOR TO BE **NOT SUITABLE** FOR SUBGRADE PLACEMENT SHALL BE IMMEDIATELY REPORTED WHEN THE SUBGRADE IS ESTABLISHED TO OWNER'S REPRESENTATIVE. STABILIZATION MEASURES FOR CUT AREAS MAY BE CONSIDERED BY OWNER'S REPRESENTATIVE AS A CHANGE TO THE BASE CONTRACT.
- 3. TESTING** - THE FOLLOWING MAXIMUM DRY DENSITIES MUST BE ACHIEVED AS MEASURED BY THE MODIFIED PROCTOR METHOD ASTM D-1557:
- **95% ON PAVEMENTS, WALKS, AND IN STRUCTURAL FILL AREAS**
 - **82% IN REMAINING AREAS**
- THE AGREEMENT BETWEEN THE OWNER AND CONTRACTOR SHALL DEFINE THE NUMBER OF TESTS AND RESPONSIBILITY. WE RECOMMEND IN EMBANKMENT AREAS ONE PER LIFT AND/OR ONE PER 1,000 CUBIC YARDS.
- 4. LIFT THICKNESS** - THE MAXIMUM LIFT THICKNESS ON PAVEMENTS, WALKS, AND STRUCTURAL FILLS SHALL BE 12 INCHES. HAND OPERATED COMPACTION FILLS SHALL NOT EXCEED 6 INCHES.
- 5. PROOF ROLLING** - THE OWNER'S REPRESENTATIVE MAY REQUEST A PROOF ROLL (I.E. LOADED TEN WHEELER) OF SUBGRADE AREAS PRIOR TO PLACEMENT OF SUBBASE MATERIALS. AREAS THAT "FAIL" SHALL BE REMOVED AND REPLACED TO ACHIEVE A PASSING SUBGRADE.

EROSION CONTROL

- 3. GRADING PLAN** - THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP), WHICH INCLUDES THE "GRADING PLAN," "EROSION CONTROL PLAN," "EROSION CONTROL NOTES," ALONG WITH THE "DRAINAGE REPORT," DEFINES AND MEETS THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) LATEST STORM WATER REGULATIONS.
- 2. CONTRACTOR RESPONSIBILITY** - ALL CONTRACTORS AND SUB-CONTRACTORS SHALL CERTIFY WITHIN THE SWPPP THAT THEY WILL IMPLEMENT AND MAINTAIN STORM WATER MANAGEMENT PRACTICES.
- 3. INSPECTION** - EROSION CONTROL (EC) MEASURES INSTALLED AND MAINTAINED BY THE SITE WORK CONTRACTOR ARE SUBJECT TO THE REVIEW AND APPROVAL OF THE: MUNICIPALITY, DESIGN ENGINEER, NYSDEC AND OWNER'S REPRESENTATIVE. IMMEDIATE ACTION BY THE CONTRACTOR SHALL BE TAKEN IF ADDITIONAL OR CORRECTIVE MEASURES ARE REQUIRED BY ANY ONE OF THESE CITED REVIEWERS. EROSION CONTROL MEASURES NOT SPECIFICALLY SHOWN ON CONTRACT DRAWINGS (I.E., STRAW BALES, COLLARS, FABRICS, ETC.) SHALL BE INSTALLED AS WARRANTED BY FIELD CONDITIONS, AND AS DIRECTED BY THE AFOREMENTIONED REVIEWERS.
- 4. NOTIFICATION** - AS DESIGN ENGINEER, OUR OFFICE HAS NOTIFIED THE OWNER OF THE INSPECTION REQUIREMENTS UNDER ADO-P-25-001. DISTURBANCES OF 1.0 ACRE OR GREATER REQUIRE THAT THE OWNER FILE A NOTICE OF INTENT (NOI) AND A SWPPP WITH THE NYSDEC UNDER STATE POLLUTANT DISCHARGE ELIMINATION STATUTE (SPDES) GENERAL PERMIT ADO-P-25-001. THE REGULATIONS REQUIRE THAT A LICENSED PROFESSIONAL COMPLETE A WEEKLY INSPECTION (THROUGHOUT THE PERIOD OF LAND DISTURBANCE).
- 5. PRE-CONSTRUCTION** - THE APPROPRIATE EROSION CONTROL MEASURES AS DEFINED BY THE CONSTRUCTION DOCUMENTS SHALL BE INSTALLED PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
- 6. TOPSOIL** - UPON COMPLETION OF THE STRIPPING OPERATION, STOCKPILES SHALL BE STABILIZED IN ACCORDANCE TO NYSDEC REGULATIONS.
- 7. SLOPES** - UPON COMPLETION OF GRADING, SLOPES WITH A GRADIENT OF ONE FOOT VERTICAL TO THREE FEET HORIZONTAL (1 ON 3) OR GREATER SHALL BE: TOPSOILED, SEEDED, FERTILIZED AND MULCHED OR TREATED AS SPECIFIED ON CONTRACT DRAWINGS.
- 8. DUST** - THE CONTRACTOR SHALL APPLY WATER AND/OR CALCIUM CHLORIDE, AS CONDITIONS WARRANT, TO CONTROL WIND BORN EROSION. THIS MEASURE APPLIES TO: HAUL ROADS, CUT AND FILL OPERATIONS, SUB-BASE AND ANY OTHER EXPOSED SURFACES.
- 9. OPERATION & MAINTENANCE** - THROUGHOUT THE PERIOD OF CONSTRUCTION AND PRIOR TO ESTABLISHING FINAL GROUND COVER THE SITE CONTRACTOR IS RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE TEMPORARY EROSION CONTROL MEASURES. FOR EXAMPLE, THE SILTATION FACILITIES SHALL BE RE-EXCAVATED WHEN THE VOLUME (3600 CUBIC FEET/DISTURBED ACRE) IS REDUCED BY ONE-HALF OR MORE OF ITS SPECIFIED CAPACITY AND/OR THE MATERIAL IS WITHIN ONE FOOT OF THE DISCHARGE POINT.
- 10. WORK STOPPAGE** - ALL DISTURBED AREAS NOT TO BE WORKED WITHIN 14 DAYS MUST BE SEEDED WITHIN 7 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THAT AREA.
- 11. TEMPORARY STABILIZATION** - TEMPORARY STABILIZATION SHALL REQUIRE 4 TONS OF STRAW/ ACRE OF DISTURBANCE PLACED WITH TACKIFIER OR ROLLED WITH A TRACKED VEHICLE TO ENSURE NOT DISPLACED.
- 12. WINTER STABILIZATION** - ALL WINTER STABILIZATION METHODS IDENTIFIED IN THE NYS 'BLUE BOOK' SHALL BE FOLLOWED FOR ANY DISTURBANCE OR NON-STABILIZED AREAS FROM NOVEMBER 15TH - APRIL 1ST.
- 13. SUBSOIL RESTORATION** - ALL AREAS TO BE RESTORED AS LAWN SHALL BE RESTORED PER CHAPTER 5 (5.16) OF THE NEW YORK STATE STORMWATER DESIGN MANUAL AND THE SOIL RESTORATION TABLE (TABLE 5.3 - SOIL RESTORATION REQUIREMENTS) SHOWN ON THE PLANS. THE PROJECT SOILS ARE HYDROLOGIC SOIL GROUP D AND SHALL BE RESTORED AS SPECIFIED.
- 14. SEQUENCE** - THE CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES IN THE FOLLOWING SEQUENCE UNLESS AUTHORIZED OTHERWISE AT PRE-CONSTRUCTION MEETING:
- INSTALL PERIMETER SEDIMENT CONTROLS, I.E. EROSION FENCING.
 - INSTALL STABILIZED CONSTRUCTION ENTRANCE
 - PROTECT VEGETATION TO REMAIN.
 - CLEAR/GRUB AND CONSTRUCT DIVERSIONARY SWALES, AND SEDIMENT BASINS.
 - COMPLETE CLEARING AND GRUBBING OPERATION
 - PLACE EROSION CONTROL MEASURES AT TOPSOIL STOCKPILES AND STRIP TOPSOIL.
 - CONSTRUCT SWALES AND SILTATION DEVICES AS EARTHWORK OPERATIONS PROGRESS.
 - MAINTAIN EROSION CONTROL MEASURES AND PLACE ADDITIONAL MEASURES AS EARTHWORK AND UNDERGROUND UTILITIES ARE CONSTRUCTED.
 - RESTORE AREAS AS DEFINED BY CONSTRUCTION DOCUMENTS.
 - REMOVE EROSION CONTROL MEASURES AS AREAS ARE REESTABLISHED WITH GROUND COVER.

RESTORATION AND LANDSCAPING

1. **GUARANTEE** - THE AGREEMENT BETWEEN THE OWNER AND CONTRACTOR SHALL DEFINE THE REQUIREMENTS, MAINTENANCE, AND TIME TO ESTABLISH NEW TURF AND LANDSCAPING ACCEPTANCE BY THE OWNER.
2. **TOPSOIL** - PLACE A MINIMUM OF **6 INCHES** (REQUIRED) OF TOPSOIL ON ALL DISTURBED SURFACES. FINE GRADE TO ESTABLISH THE DESIGN ELEVATIONS AND DRAINAGE PATTERNS. OBTAIN OWNER'S REPRESENTATIVE APPROVAL PRIOR TO SEEDING.
3. **SEED** - LAWN AREAS SHALL BE HYDROSEEDDED WITH AN APPROVED: SEED MIXTURE, MULCH, AND FERTILIZER. THE APPLICATION RATE SHALL BE DETERMINED BY CONTRACTOR TO ESTABLISH A "STAND" OF GRASS. THE CONTRACTOR SHALL SUBMIT MATERIAL AND APPLICATION SPECIFICATIONS TO THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO APPLICATION.
4. **PLANT STOCK** - PLANT MATERIALS SHALL BE IN ACCORDANCE WITH "AMERICAN STANDARD FOR NURSERY STOCK". THE CONTRACTOR SHALL SUBMIT PLANT MATERIAL SPECIFICATIONS TO THE OWNER'S ON-SITE REPRESENTATIVE FOR APPROVAL PRIOR TO DELIVERY TO THE SITE.
5. **PLANT LOCATIONS** - THE PLANT LOCATIONS DEPICTED ON THE PLAN MAY BE FIELD ADJUSTED (SO THEY DO NOT INTERFERE WITH UTILITIES) AND TO THE SATISFACTION OF OWNER'S REPRESENTATIVE.
6. **PLANTING BEDS** - PROVIDE TWELVE INCHES (12") OF TOPSOIL, WEED FABRIC (AS DIRECTED BY OWNER), AND THREE INCHES (3") OF MULCH AT PLANTING BEDS, UNLESS SPECIFIED OTHERWISE ON DRAWINGS.



SKETCH SITE PLANS for PIRANHA RENTS IN WEBSTER

TOWN OF WEBSTER
FIVE MILE LINE ROAD
MONROE COUNTY
STATE OF NEW YORK

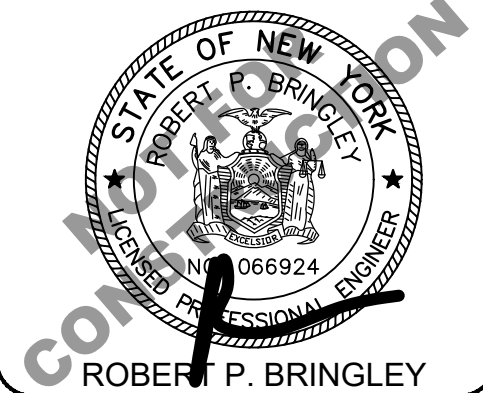
JOB NO: 1843-25
SCALE: 1"=30'
DRAWN: RLB
DESIGNED: MPT
DATE: 09/19/2025

REVISIONS

DATE	BY	REVISION
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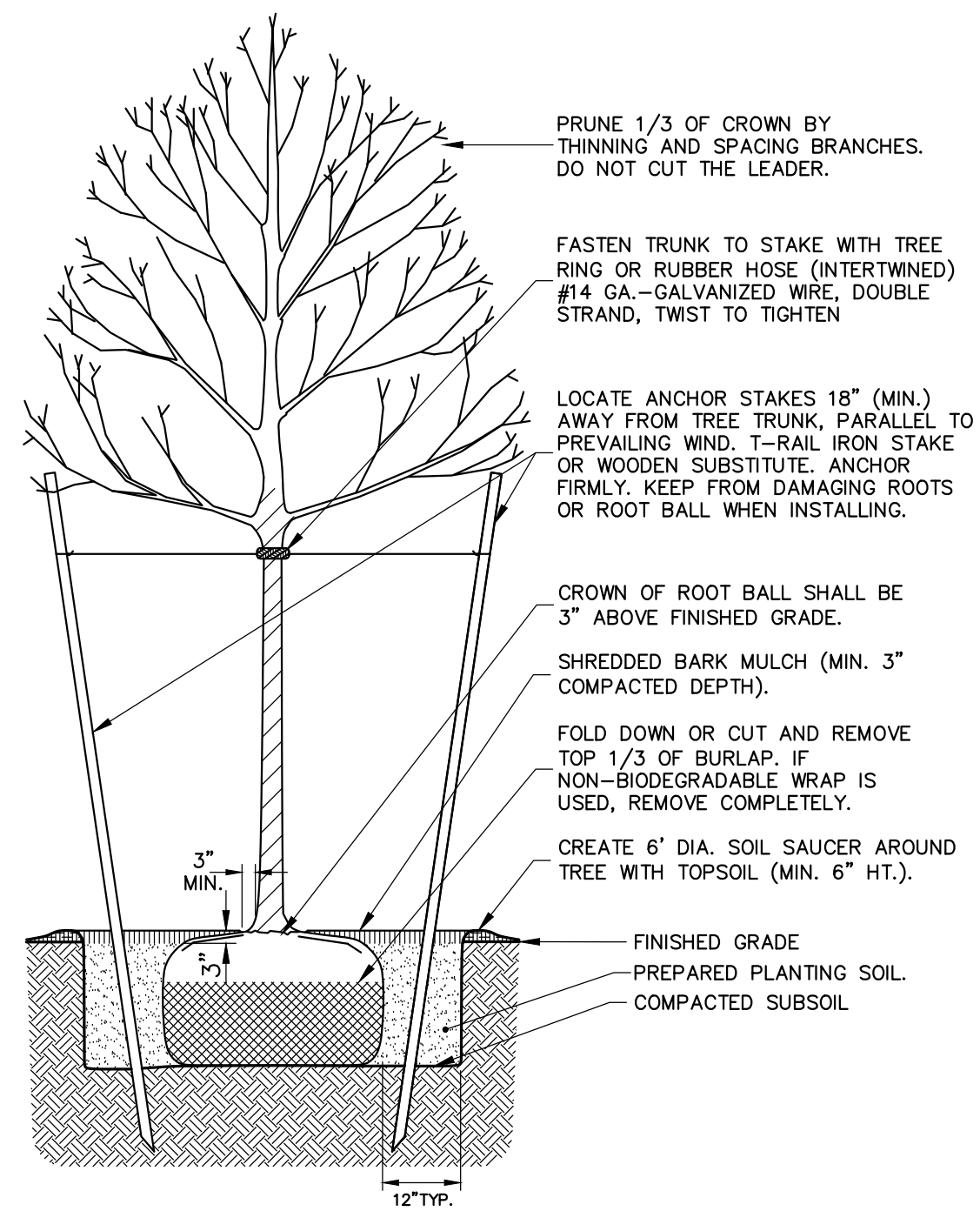
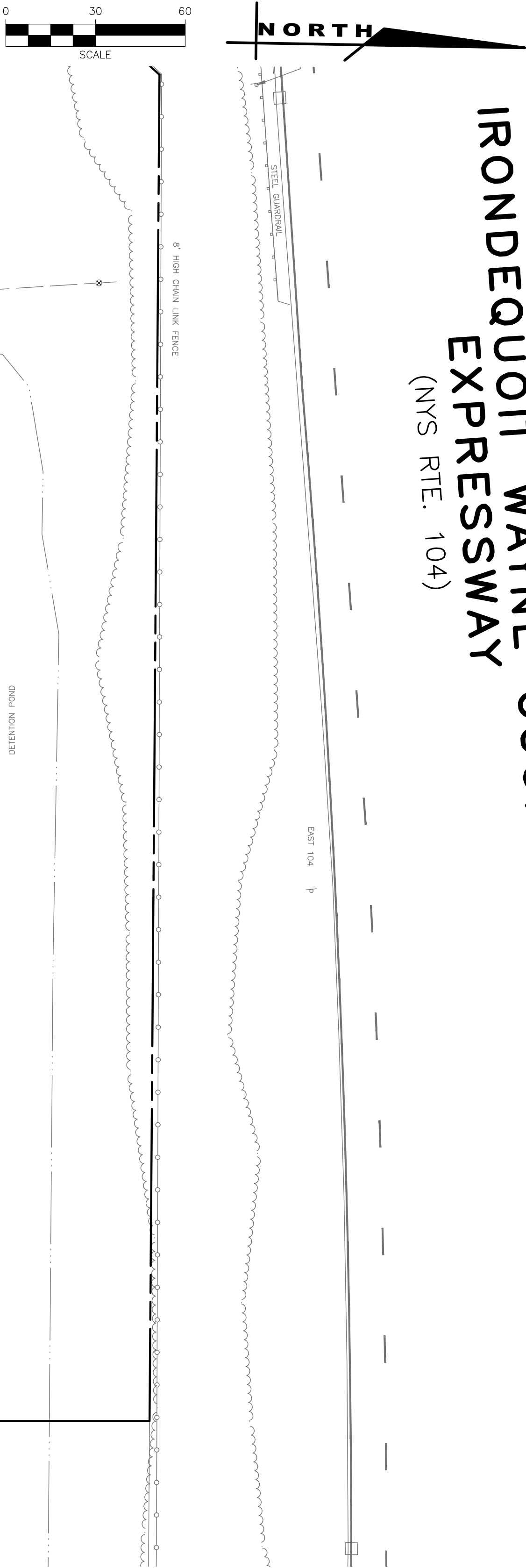
DRAWING TITLE:

GRADING &
EROSION
CONTROL PLAN

4 of 7
SHEET No: C3.0
1843-25
JOB No: DRAWING No:

LIGHTING SCHEDULE							
INDEX	ARTICLE NAME	ITEM NUMBER	FITTING	LUMINOUS FLUX	LIGHT LOSS FACTOR	CONNECTED LOAD	QUANTITY
W1	LH20068B-L		1X	635 LM	0.80	13.3 W	5
S1	PORTOLJO 4-INCH ROUND SURFACE MOUNT LED LUMINAIRE WITH 2700K, 90CRI LEADS AND 4LBMH TRIM	LER4C05D010 EC4C02089027 4LBMH	146X	472 LM	0.80	7.2 W	2

KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	ROOT	REMARKS
AB	ACER RUBRUM 'BRANDY WINE'	BRANDY WINE MAPLE	8	3" CALIPER	BALLED & BURLAPPED	
CS	CORNUS SERICEA 'CARDINAL'	RED TWIG DOGWOOD	17	30"-36" HEIGHT	#3 CONTAINER	Bio-retention
PH	PENNISETUM ALOP. 'HA MELN'	RED TAIL FOUNTAIN GRASS	20	CLUMP	#2 CONTAINER	



1 DECIDUOUS PLANTINGS

**WP** WAL-PAK

SKETCH SITE PLANS for PIRANHA RENTS IN WEBSTER

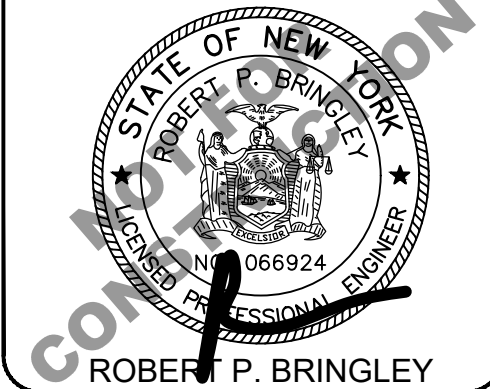
FIVE MILE LINE ROAD
MONROE COUNTY
STATE OF NEW YORK
TOWN OF WEBSTER

JOB NO:	1843-25
SCALE:	1"=30'
DRAWN:	RLB
DESIGNED:	MPT
DATE:	09/19/2025

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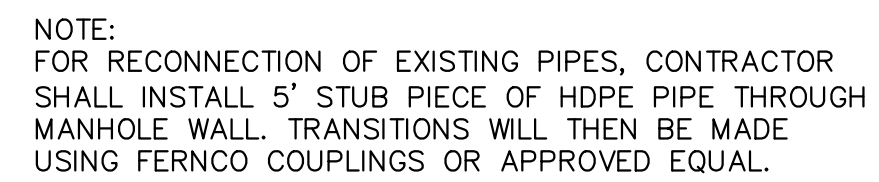
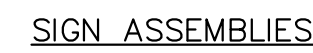
DRAWING TITLE: LIGHTING & LANDSCAPING PLAN	
5 of 7 SHEET No:	C4.0
1843-25 JOB No:	
DRAWING No:	



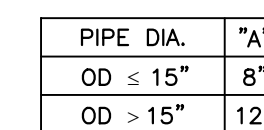
② PAVEMENT MATCH



CHAIN LINK FENCE



11 CONNECT TO EXISTING
COMBINED STRUCTURE



16 SANITARY TRENCH

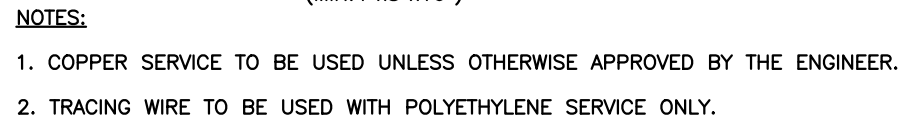


STATE OF NEW YORK

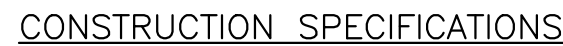
MONROE COUNTY

TOWN OF WEBSTER

6 of 7	C5.0
SHEET No:	
1843-25	
JOB No:	
	DRAWING No:



MCWA STANDARD DETAIL (DME 17, 2016)
NTS

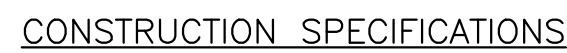


1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL "T" OR "U" TYPE OF HARDWOOD.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABLINEA T400, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
6. ENVIRO-FENCE WITH INTEGRAL MESH IS ACCEPTABLE SUBSTITUTE.

SCALE: N.T.S

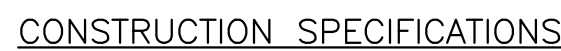


SCALE: N.T.S



1. STONE SIZE - USE STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MIN. LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS, TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, TACKED, OR WASHED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

NYSDEC STANDARD DETAIL
SCALE: N.T.S



1. SEDIMENT BARRIER (SILT FENCE) SHALL BE PLACED AROUND THE PERIMETER OF ALL STOCKPILES OF ALL ERODIBLE MATERIAL.
2. OFFSET SEDIMENT BARRIER FROM STOCKPILE A MINIMUM OF 5' FROM THE TOE OF STOCKPILE FOR SEDIMENT ACCUMULATION.
3. IMMEDIATELY STABILIZED STOCKPILED MATERIAL WITH SEED AND MULCH.
4. INSPECT STOCKPILE PERIMETER CONTROL AFTER EACH RAIN EVENT.
5. ONCE SEDIMENT HAS ACCUMULATED TO A HEIGHT OF 50% OF THE SEDIMENT BARRIER HEIGHT, THE CONTRACTOR SHALL REMOVE COLLECTED SEDIMENT AND SPOIL MATERIAL ON STOCKPILE AND REESTABLISH WITH SEED AND MULCH.

SCALE: N.T.S.



SCALE: N.T.S.



1. ROADS THAT HAVE PAVEMENT ADDED IN THE FUTURE SHALL HAVE 9" STONE AND 2" #1 DENSE BINDER INSTALLED.



1. CONTRACTOR TO VERIFY SIZE REQUIREMENTS BASED ON ANTICIPATED VOLUMES OF CONCRETE WASHOUT.
2. CONCRETE WASHOUT SHOULD BE PLACED TO NOT ACCEPT SURFACE RUNOFF EXCEPT THE AREA WHERE TRUCKS SIT FOR WASHOUT.
3. IF WATER DOES NOT EVAPORATE AND IS GREATER THAN 75% FULL CONTRACTOR SHALL REMOVE LIQUIDS AS REQUIRED BY THE LOCAL AUTHORITY (SAN SEALER OF VAC TRUCK)
4. PROVIDE MINIMUM AGGREGATE OF 10 MIL PLASTIC AS LINER. SECURE LINER TO PREVENT INFILTRATION & REPLACE AS NECESSARY FOR TEARS.

6

JOB NO:	1843-25
SCALE:	AS SHOWN
DRAWN:	RLB
DESIGNED:	MPT
DATE:	09/19/2025

REVISIONS

DATE	BY	REVISION
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DRAWING TITLE:
**CONSTRUCTION
DETAILS**

7 of 7
SHEET No:
1843-25
JOB No: