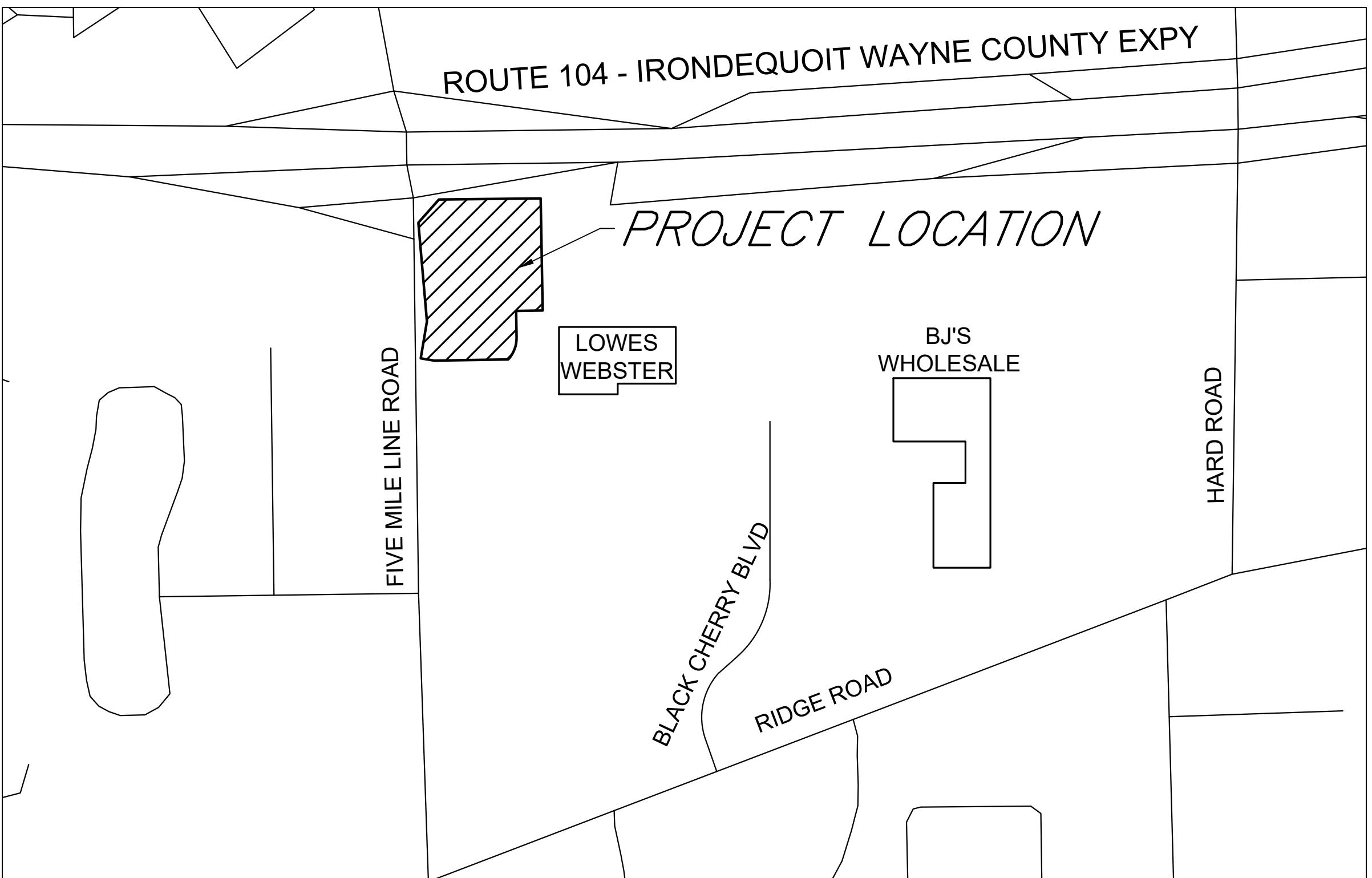


# **SKETCH SITE PLANS for PIRANHA RENTS IN WEBSTER**

**FIVE MILE LINE ROAD**

SITUATE IN:

**TOWN OF WEBSTER - MONROE COUNTY - STATE OF NEW YORK**



**LOCATION MAP**

NOT TO SCALE



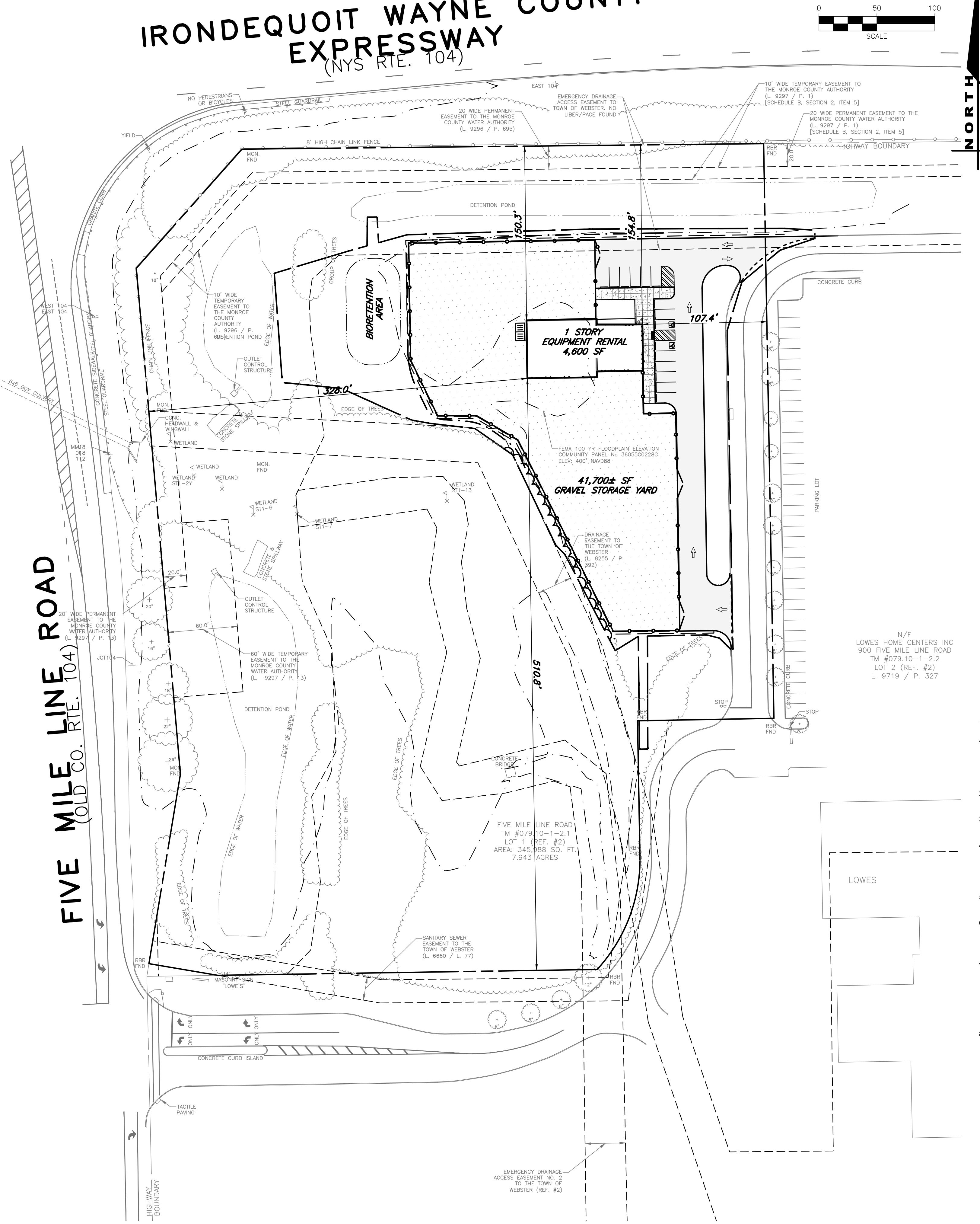
ROCHESTER LOCATION

39 CASCADE DRIVE  
ROCHESTER, NY 14614  
5 8 5 - 4 5 8 - 7 7 0  
ITHACA LOCATION

840 HANSHAW RD, STE 6  
ITHACA, NY 14850  
6 0 7 - 2 4 1 - 2 9 1 7  
[www.marathoneng.com](http://www.marathoneng.com)

SHEET SCHEDULE		
No.	DWG. No.	DESCRIPTION
1	C1.0	OVERALL PLAN
2	V1.0	EXISTING CONDITIONS & DEMOLITION
3	C2.0	LAYOUT AND UTILITY PLAN
4	C3.0	GRADING & EROSION CONTROL PLAN
5	C4.0	LIGHTING & LANDSCAPING PLAN
6	C5.0	CONSTRUCTION DETAILS
7	C5.1	CONSTRUCTION DETAILS

IRONDEQUOIT WAYNE COUNTY  
EXPRESSWAY  
(NYS RTE. 104)



## PROJECT INFORMATION:

## **1. PARCEL DATA:**

**1.1. ADDRESS: FIVE MILE LINE RD  
1.2. PARCEL TAX NUMBERS: 79.10-  
1.3. OWNER: HEGEDORNS FAMILY  
1.4. AREA: 7.943 ACRES**

## 2. ZONING DATA:

**2.1. ZONING DISTRICT: HC - HIGH INTENSITY COMMERCIAL**  
**2.2. PROPOSED USE: CONSTRUCTION EQUIPMENT/RENTAL AND MAINTENANCE**

### **3. TOWN BULK REQUIREMENTS (§350-19):**

	<u>REQUIRED</u>	<u>PROVIDED</u>
<b>3.1. LOT SIZE.....</b>	2 AC .....	7.9 AC
<b>3.2. FRONT SETBACK .....</b>	150 FT .....	150.3 FT
<b>3.3. SIDE SETBACK .....</b>	75 FT .....	107.4 FT
<b>3.4. REAR SETBACK .....</b>	50 FT .....	510.8 FT
<b>3.6. MAX BUILDING COVERAGE.....</b>	20% .....	1.3 %

## **5. TOWN PARKING REQUIREMENTS (§350-74):**

<b>5.1. REQUIRED .....</b>	<b>14<sup>(1)</sup></b>
<b>5.2. PROVIDED .....</b>	<b>15</b>

ENOUGH SPACES SO NO EMPLOYEES NEED TO PARK ON THE STREET  
4 EMPLOYEES = 4 SP

## STANDARD ABBREVIATIONS

AC.	ACRE	LS	LUMP SUM
A.O.B.E.	AS ORDERED BY ENGINEER	LT.	LEFT
ASPH.	ASPHALT	MB.	MAILBOX
AZ.	AZIMUTH	M.O.	MIDDLE ORDINATE
<b>B</b>	BASELINE	MON.	MONUMENT OR MONTH
BM	BENCHMARK	MCGS	MONROE COUNTY GEODETIC SURVEY
<b>C</b>	CENTERLINE	M.H.	MANHOLE
CLF	CHAIN LINKED FENCE	NEC.	NECESSARY
C.O.	CLEAN-OUT	N.I.C.	NOT-IN- CONTRACT
CONC.	CONCRETE	NTS	NOT TO SCALE
CPP	CORRUGATED POLYETHYLENE PIPE	N/F	NOW OR FORMERLY
CSP	CORRUGATED STEEL PIPE	PAV'T.	PAVEMENT
COV.	COVER	PE	POLYETHYLENE PIPE
CB	CURB BOX	PPE	PERFORATED POLYETHYLENE PIPE
CY	CUBIC YARD	PC	POINT OF CURVATURE
D.	DEGREE OF CURVE	PI	POINT OF INTERSECTION
DIA.	DIAMETER	PT	POINT OF TANGENCY
DI	DROP INLET	PVC	POINT OF VERTICAL CURVATURE
D.I.P.	DUCTILE IRON PIPE	PVI	POINT OF VERTICAL INTERSECTION
EA.	EACH	PVT	POINT OF VERTICAL TANGENCY
EIC	ENGINEER IN CHARGE	PP	POWER POLE
ELEV.	ELEVATION	P	PROPERTY LINE
EP	EDGE OF PAVEMENT	R.	RADIUS
FF	FINISH FLOOR = FINISH FLOOR ELEVATION	RCP	REINFORCED CONCRETE PIPE
FI	FIELD INLET	RG&E	ROCHESER GAS AND ELECTRIC
FR.	FRAME	R.O.W.	RIGHT-OF-WAY
FP	FINISH PAD = GARAGE FLOOR ELEVATION	RT.	RIGHT
FT.	FEET	RTC	ROCHESTER TELEPHONE COMPANY
G	GAS MAIN	SA.	SANITARY SEWER
GAL.	GALLON	ST.	STORM SEWER
GR.	GRAVEL	STA.	STATION
G.R.	GUIDE RAIL	STY.	STORY
HCL	HORIZONTAL CONTROL LINE	SY	SQUARE YARD
HYD.	HYDRANT	T.	TANGENT DISTANCE
INV.	INVERT	TGL	THEORETICAL GRADE LINE
IP	IRON PIPE OR IRON PIN	TYP.	TYPICAL
L.	LENGTH OR LENGTH OF CURVE	VC	VERTICAL CURVE
LF	LINEAR FEET	VT	VITRIFIED TILE PIPE
LP	LIGHT POST (PRIVATE)	Δ	CENTRAL ANGLE

## LEGEND:

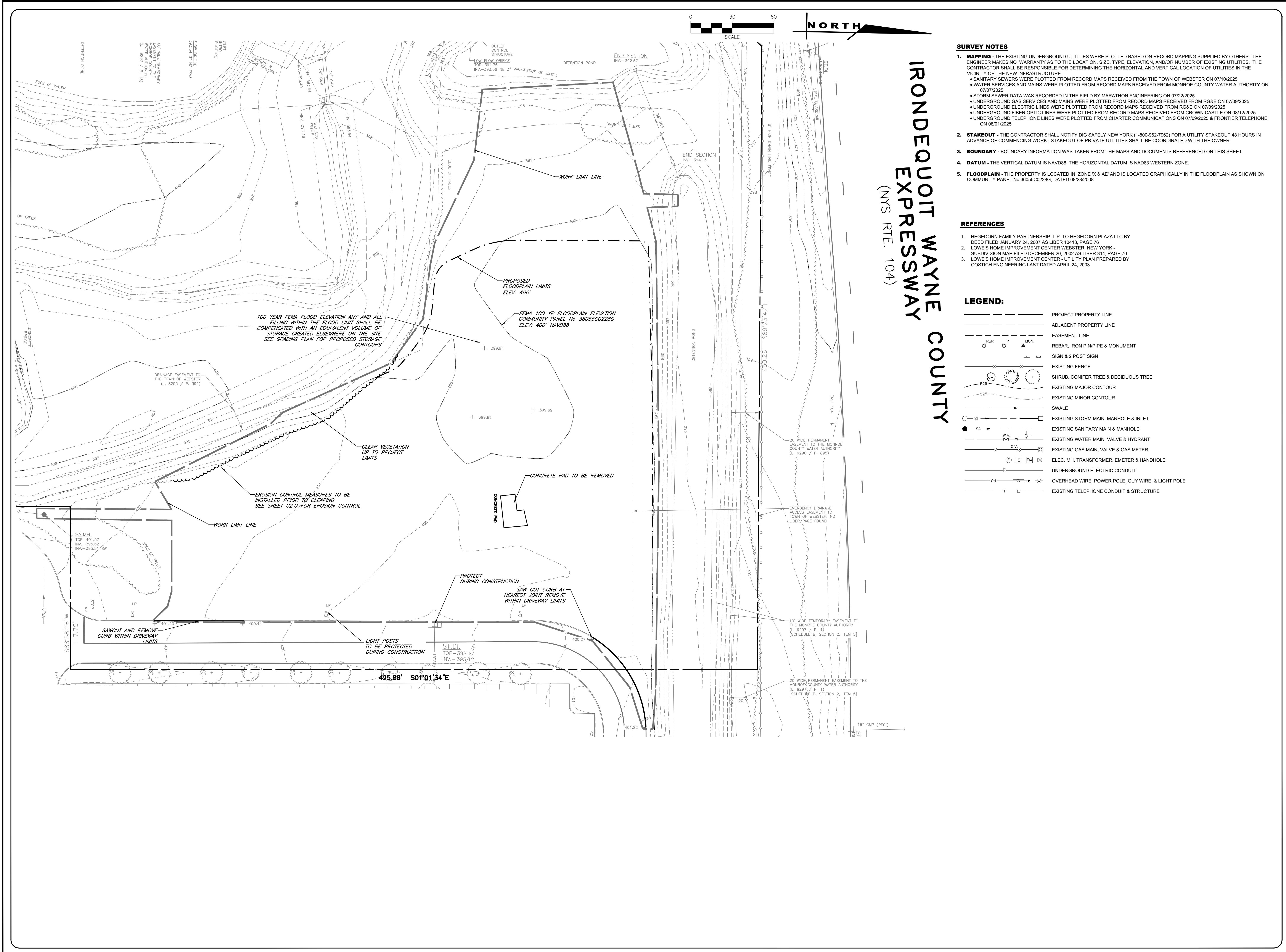
— — — — —	ADJACENT PROPERTY LINE
— — — — —	PROJECT PROPERTY LINE
— — — — —	EASEMENT LINE
— — — — —	RIGHT OF WAY (HIGHWAY BOUNDARY)
	SIGN
	EXISTING POWER POLE
	LIGHT POLE
— — — — —	EXISTING FENCE (DESCRIPTION)
— — — — —	PROPOSED FENCE (DESCRIPTION)
	PROPOSED PARKING SPACE COUNT
— — — — —	CURB
	PROPOSED SIDEWALK
	PROPOSED PAVEMENT
	PROPOSED GRAVEL YARD

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW ARTICLE 145, SECTION 7209 FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER IN ANY WAY, AN ITEM BEARING THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR. IF AN ITEM BEARING THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

The seal is circular with a double-lined outer border. The words "STATE OF NEW YORK" are written in a large, serif font along the top inner edge. In the center, there is a detailed illustration of a shield supported by two figures. The shield contains a central sunburst and a river. The figures are a Native American on the left and a European on the right. Above the shield, the name "ROBERT P. BRINGLEY" is written in a serif font. Below the shield, the word "EXCELSIOR" is written in a banner. At the bottom of the seal, the number "NO. 066924" is printed. The bottom inner edge of the seal contains the words "LICENSED PROFESSIONAL ENGINEER" in a serif font. A large, semi-transparent watermark reading "COMMITTEE OF" is overlaid across the center of the seal.

DRAWING TITLE: **OVERALL PLAN**

1 of 7	
SHEET No:	C1.0
1843-25	
JOB No:	DRAWING N



File: Z:\Engineering\Job Drawings\\_Sheets\1843-25\1843 V1.0 EX DEMO.dwg, Last saved: 9/15/2025, Plot Date: 9/19/2025, By: RAFAEL BARRETO, Plot Style: MARATHON STANDARD.CTB

JOB NO:	1843-25
SCALE:	1"=30'
DRAWN:	RLB
DESIGNED:	MPT
DATE:	09/19/2025

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW ARTICLE 145, SECTION 7209 FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER IN ANY WAY, AN ITEM BEARING THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR. IF AN ITEM BEARING THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

The image shows the official seal of the State of New York. The seal is circular with a rope-like outer border. Inside, the words "STATE OF NEW YORK" are written in a circular pattern at the top. In the center is a shield featuring a Native American figure holding a bow in one hand and an arrow pointing downward in the other. Above the shield is an eagle with spread wings, holding a shield on its chest. Below the shield is a banner with the word "INDEPENDENCE" and the date "1776". The bottom of the seal contains the text "THE GREAT SEAL OF THE STATE OF NEW YORK". At the bottom of the seal, the number "NO 066924" is printed. Around the bottom edge of the seal, the words "LICENSED PROFESSIONAL ENGINEER" are written. A large, semi-transparent watermark reading "CONTRACTED BY ROBERT P. BRINGLEY" is overlaid across the entire seal.

DRAWING TITLE:	
<b>EXISTING CONDITIONS &amp; DEMOLITION</b>	
2 of 7	SHEET No:
1843-25	V1.0
JOB No:	DRAWING No:

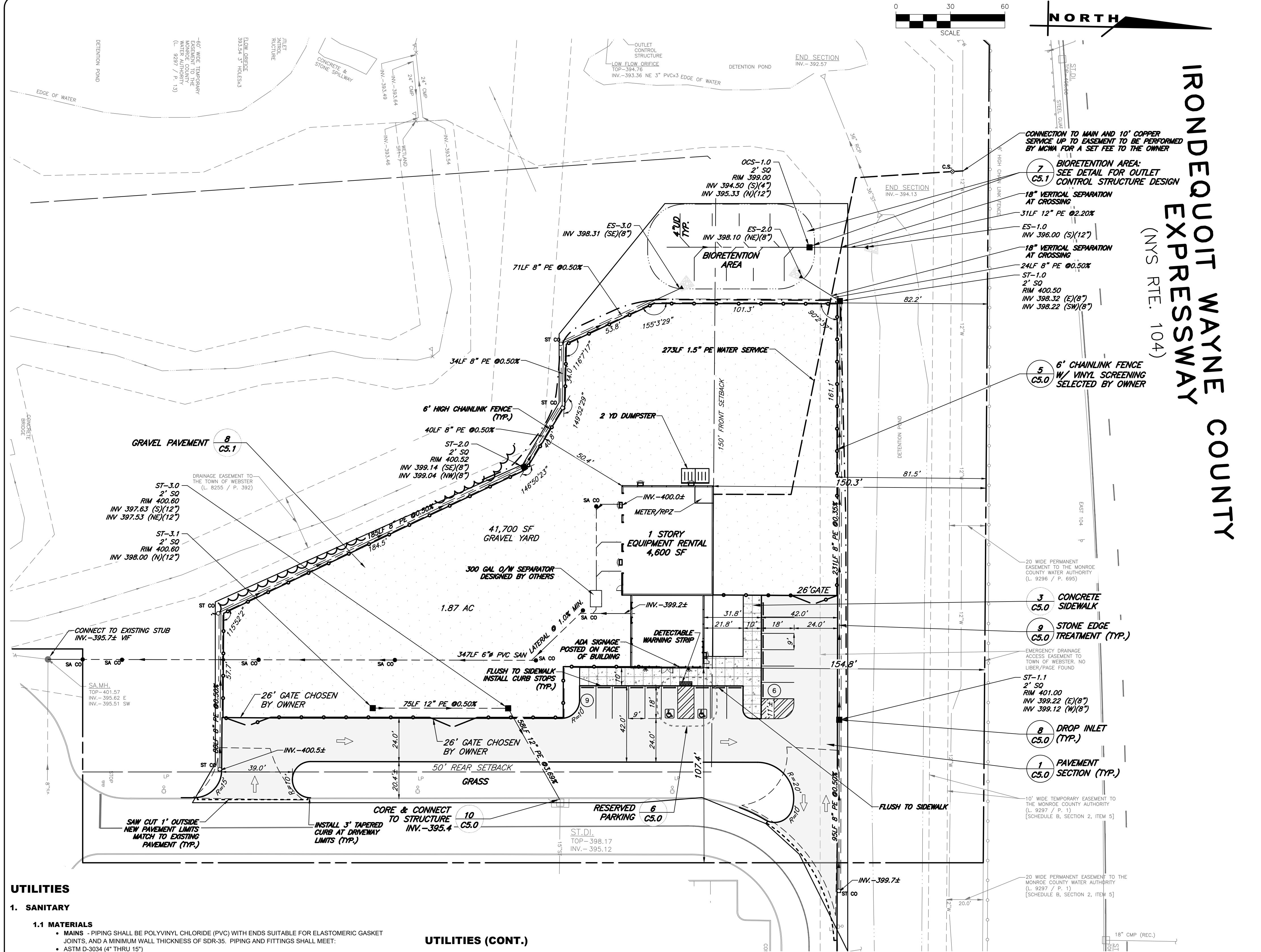
**PIRANHA RENTS IN WEBSTER**

SKETCH SITE PLANS  
for  
FIVE MILE LINE ROAD  
MONROE COUNTY  
TOWN OF WEBSTER

STATE OF NEW YORK

FIVE MILE LINE ROAD  
MONROE COUNTY

TOWN OF WEBSTER



LATERAL IDENTIFICATION	SIZE (a)	MATERIAL	TYPE (c)
MONROE COUNTY PORTION = FROM THE WATER MAIN TO AND INCLUDING THE CONTROL VALVE ON THE ROW/PROPERTY/EASEMENT LINE	1.5"	COPPER TYPE K	DOM
PRIVATE PORTION = FROM THE CONTROL VALVE TO THE METER	1.5"	PE	DOM

(a) MINIMUM SIZE IS 1-INCH  
(b) ACCEPTABLE MATERIAL FOR PRIVATE PORTION IS EITHER TYPE "K" COPPER OR POLYETHYLENE PLASTIC (PE) #4710, SDR-9, ASTM 2737, NSF-PW, 250 PSI (1.125" OD)  
(c) SERVICE TYPES INCLUDE: DOMESTIC = DS, FIRE = FS, OR COMBINED = CMB

**3.5 THE WATER AUTHORITY'S PORTION OF THE SERVICE LINE** SHALL BE INSTALLED AFTER THE PRIVATE PORTION OF SERVICE IS INSTALLED.

**3.6 WATER METER(S)** TO BE LOCATED ON THE INTERIOR OF EXTERIOR WALL(S) IMMEDIATELY UPON SERVICE ENTRANCE INTO THE BUILDING(S), OR IN A METER TUBE WHEN CONDITIONS WARRANT. A BY-PASS ASSEMBLY IS NOT REQUIRED AROUND THE INSTALLATION OF 5/8-INCH THROUGH 1-INCH METERS. METER INSTALLATIONS GREATER THAN 1-INCH MAY REQUIRE A BY-PASS ASSEMBLY AROUND THE METER.

JOB NO: 1843-25  
SCALE: 1"=30'  
DRAWN: RLB  
DESIGNED: MPT  
DATE: 09/19/2025

REVISIONS  
DATE BY REVISION

CONTRACTOR'S COPY

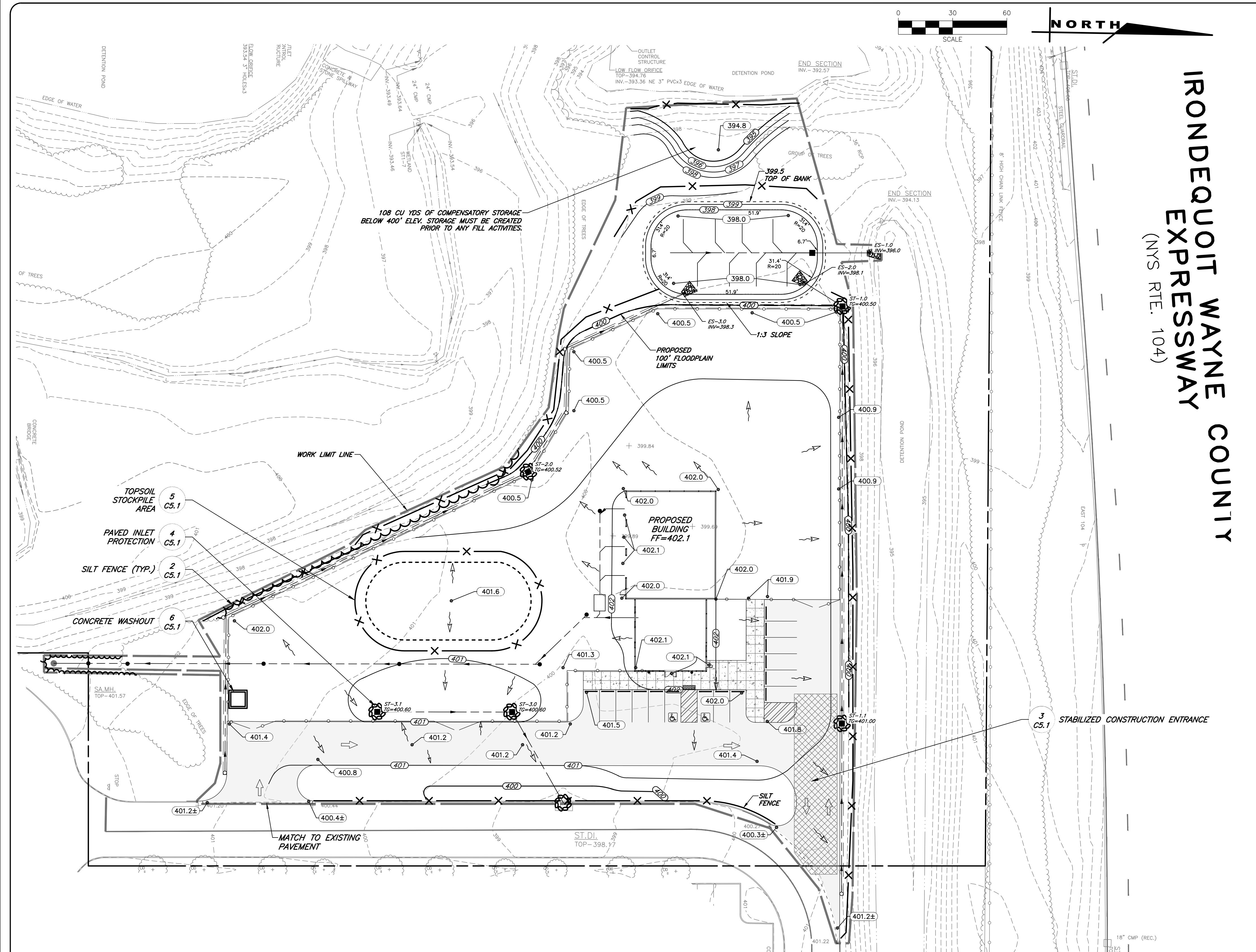
IT IS A VIOLATION OF NEW YORK STATE'S CIVIL LAW ARTICLE 145, SECTION 7209 FOR ANYONE TO ALTER, REMOVE, OBSTRUCT, DAMAGE, OR DESTROY THE MARKS, LINES, OR SURVEY POINTS PLACED BY A PROFESSIONAL ENGINEER OR LAND SURVEYOR TO ALTER THE ALTERING ENGINEER OR LAND SURVEYOR'S ALTERATION. THE ALTERING ENGINEER OR LAND SURVEYOR SHALL BE LIABLE FOR THE REASONABLE COST OF RELOCATING THE ORIGINAL MARKS, LINES, OR SURVEY POINTS DETERMINED BY THE ALTERING ENGINEER OR LAND SURVEYOR AND A PROPER DESCRIPTION OF THE ALTERATION.

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CONTRACTOR'S COPY  
ROBERT P. BRINGLEY  
PROFESSIONAL ENGINEER  
ROBERT P. BRINGLEY  
PROFESSIONAL ENGINEER  
ROBERT P. BRINGLEY  
PROFESSIONAL ENGINEER

DRAWING TITLE:  
LAYOUT AND  
UTILITY PLAN

3 of 7  
SHEET NO:  
C2.0  
1843-25  
DRAWING NO:  
DRAFTING



## EARTHWORK

- PREPAREDNESS** - PRIOR TO START OF EARTHWORK OPERATIONS THE CONTRACTOR SHALL COMPLETE THE FOLLOWING APPLICABLE ITEMS AS DEFINED BY CONTRACT DOCUMENTS:
  - **SITE DEMOLITION** - REMOVAL AND DISPOSAL OFF-SITE IN A LEGAL MANNER; STRUCTURES, UTILITIES, PAVEMENTS, ETC.
  - **CLEARING AND GRUBBING** - REMOVAL AND DISPOSAL OFF-SITE IN A LEGAL MANNER; TREES, BRUSH, STUMPS, ETC.
  - **TOPSOIL STRIPPING** - STRIP AND STOCKPILE TOPSOIL FOR REUSE. EXCESS TOPSOIL MAY BE REMOVED FROM SITE WITH APPROVAL BY OWNER AND MUNICIPALITY.
- RESPONSIBILITY** - THE CONTRACTOR IS RESPONSIBLE FOR:
  - **ESTIMATE** - COMPLETION OF A QUANTITY TAKEOFF TO DETERMINE THE VOLUME OF CUT, FILL, AND TOPSOIL. COMPARE AND COORDINATE WITH INFORMATION PROVIDED BY THE DESIGN ENGINEER.
  - **GRADE TOLERANCES** - ESTABLISHING DESIGN SUBGRADE ELEVATIONS TO WITHIN ONE TENTH OF ONE FOOT (0.10') IN PAVEMENT AREAS (INCLUDING WALKS) AND TO WITHIN THIRTY-THREE HUNDREDTHS OF ONE FOOT (0.33') FOR ALL REMAINING AREAS.
  - **COMPACTION** - ACHIEVING COMPACTION VALUES (NOT LESS THAN THE PERCENTAGES SPECIFIED BELOW) FOR EMBANKMENT AREAS AND SUBGRADE AREAS.
  - **CUTS** - ONCE EXCAVATIONS ARE SHAPED TO THE DESIGN GRADES THESE AREAS SHALL BE PROTECTED TO ASSURE THAT THE INTEGRITY OF MATERIAL IS NOT COMPROMISED BY CONSTRUCTION VEHICLES AND/OR IMPROPER ORGANIC AREAS DETERMINED BY CONTRACTOR TO BE NOT SUITABLE FOR SUBGRADE PLACEMENT SHALL BE IMMEDIATELY REPORTED WHEN THE SUBGRADE IS ESTABLISHED TO OWNER'S REPRESENTATIVE. STABILIZATION MEASURES FOR CUT AREAS MAY BE CONSIDERED BY OWNER'S REPRESENTATIVE AS A CHANGE TO THE BASE CONTRACT.
- TESTING** - THE FOLLOWING MAXIMUM DRY DENSITIES SHALL BE ACHIEVED AS MEASURED BY THE MODIFIED PROCTOR METHOD ASTM D-1557:
  - 95% UNDER PAVEMENTS, WALKS, AND IN STRUCTURAL FILL AREAS
  - 85% IN REMAINING AREAS
- THE AGREEMENT BETWEEN THE OWNER AND CONTRACTOR SHALL DEFINE THE NUMBER OF TESTS AND RESPONSIBILITY. WE RECOMMEND IN EMBANKMENT AREAS ONE PER LIFT AND/OR ONE PER 1,000 CUBIC YARDS.**
- LIFT THICKNESS** - THE MAXIMUM LIFT THICKNESS UNDER PAVEMENTS, WALKS, AND STRUCTURAL FILLS SHALL BE 12 INCHES. HAND OPERATED COMPACTOR FILLS SHALL NOT EXCEED 6 INCHES.
- PROOF ROLLING** - THE OWNER'S REPRESENTATIVE MAY REQUEST A PROOF ROLL (I.E. LOADED TEN WHEELER) OF SUBGRADE AREAS PRIOR TO PLACEMENT OF SUBBASE MATERIALS. AREAS THAT "FAIL" SHALL BE REMOVED AND REPLACED TO ACHIEVE A PASSING SUBGRADE.

## EROSION CONTROL

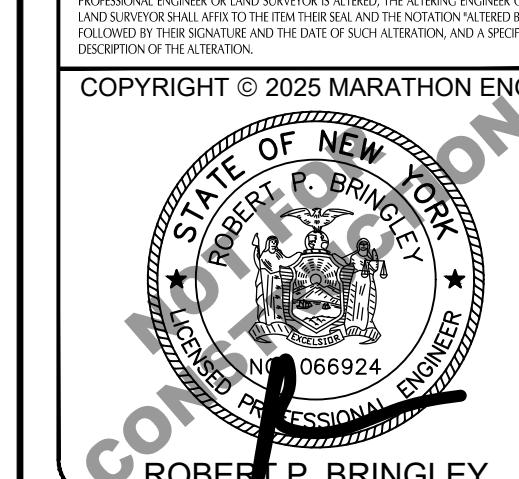
- CERTIFICATION** - THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP), WHICH INCLUDES THE "GRADING PLAN", "EROSION CONTROL PLAN", "EROSION CONTROL NOTES", ALONG WITH THE "DRAINAGE REPORT", DEFINES AND MEETS THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDC) LATEST STORM WATER REGULATIONS.
- CONTRACTOR RESPONSIBILITY** - ALL CONTRACTORS AND SUB-CONTRACTORS SHALL CERTIFY WITHIN THE SWPPP THAT THEY WILL IMPLEMENT AND MAINTAIN STORM WATER MANAGEMENT PRACTICES.
- INSPECTION** - EROSION CONTROL (EC) MEASURES INSTALLED AND MAINTAINED BY THE SITE WORK CONTRACTOR ARE SUBJECT TO THE REVIEW AND APPROVAL OF THE: MUNICIPALITY, DESIGN ENGINEER, NYSDC, AND OWNER'S REPRESENTATIVE. IMMEDIATE ACTION BY THE CONTRACTOR SHALL BE TAKEN IF ADDITIONAL OR CORRECTIVE MEASURES ARE REQUIRED BY ANY ONE OF THESE CITED REVIEWERS. EROSION CONTROL MEASURES NOT SPECIFICALLY SHOWN ON CONTRACT DRAWINGS (I.E., STRAW BALES, COLLARS, FABRICS, ETC.) SHALL BE INSTALLED AS WARRANTED BY FIELD CONDITIONS, AND AS DIRECTED BY THE AFOREMENTIONED REVIEWERS.
- NOTIFICATION** - AS DESIGN ENGINEER, OUR OFFICE HAS NOTIFIED THE OWNER OF THE INSPECTION REQUIREMENTS UNDER GP-0-25-001. DISTURBANCES OF 1.0 ACRE OR GREATER REQUIRE THAT THE OWNER FILE A NOTICE OF INTENT (NOI) AND A SWPPP WITH THE NYSDC UNDER STATE POLLUTANT DISCHARGE ELIMINATION SYSTEM (SPDES) GENERAL PERMIT #GP-0-25-001. THE REGULATIONS REQUIRE THAT A LICENSED PROFESSIONAL COMPLETE A WEEKLY INSPECTION (THROUGHOUT THE PERIOD OF LAND DISTURBANCE).
- PRE-CONSTRUCTION** - THE APPROPRIATE EROSION CONTROL MEASURES AS DEFINED BY THE CONSTRUCTION DOCUMENTS SHALL BE INSTALLED PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
- TOPSOIL** - UPON COMPLETION OF THE STRIPPING OPERATION, STOCKPILES SHALL BE STABILIZED IN ACCORDANCE TO NYSDC REGULATIONS.
- SLOPES** - UPON COMPLETION OF GRADING, SLOPES WITH A GRADIENT OF ONE FOOT VERTICAL TO THREE FEET HORIZONTAL (1 ON 3) OR GREATER SHALL BE: TOPSOILED, SEEDED, FERTILIZED AND MULCHED OR TREATED AS SPECIFIED ON CONTRACT DRAWINGS.
- DUST** - THE CONTRACTOR SHALL APPLY WATER AND/OR CALCIUM CHLORIDE, AS CONDITIONS WARRANT, TO CONTROL LAND DUST EROSION. THIS MEASURE APPLIES TO: HAUL ROADS, CUT AND FILL OPERATIONS, SUB-BASE AND ANY OTHER EXPOSED SURFACES.
- OPERATION & MAINTENANCE** - THROUGHOUT THE PERIOD OF CONSTRUCTION AND PRIOR TO ESTABLISHING FINAL GROUND COVER THE SITE CONTRACTOR IS RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE TEMPORARY EROSION CONTROL MEASURES. FOR EXAMPLE, THE SILTATION FACILITIES SHALL BE RE-EXCAVATED WHEN THE VOLUME (3600 CUBIC FEET/DISTURBED ACRE) IS REDUCED BY ONE-HALF OR MORE OF ITS SPECIFIED CAPACITY AND/OR THE MATERIAL IS WITHIN ONE FOOT OF THE DISCHARGE POINT.
- WORK STOPPAGE** - ALL DISTURBED AREAS NOT TO BE WORKED WITHIN 14 DAYS MUST BE SEEDED WITHIN 7 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THAT AREA.
- TEMPORARY STABILIZATION** - TEMPORARY STABILIZATION SHALL REQUIRE 4 TONS OF STRAW/ACRE OF DISTURBANCE PLACED WITH TACKIFIER OR ROLLED WITH A TRACKED VEHICLE TO ENSURE NOT DISPLACED.
- WINTER STABILIZATION** - ALL WINTER STABILIZATION METHODS IDENTIFIED IN THE NYS 'BLUE BOOK' SHALL BE FOLLOWED FOR ANY DISTURBANCE OR NON-STABILIZED AREAS FROM NOVEMBER 15TH, 2011, APRIL 1ST.
- SUBSOIL RESTORATION** - ALL AREAS TO BE RESTORED AS LAWN SHALL BE RESTORED PER CHAPTER 5 (5.1.6) OF THE NEW YORK STATE STORMWATER DESIGN MANUAL AND THE SOIL RESTORATION TABLE (TABLE 5.3 - SOIL RESTORATION REQUIREMENTS) SHOWN ON THE PLANS. THE PROJECT SOILS ARE HYDROLOGIC SOIL GROUP D AND SHALL BE RESTORED AS SPECIFIED.
- SEQUENCE** - THE CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES IN THE FOLLOWING SEQUENCE UNLESS AUTHORIZED OTHERWISE AT PRE-CONSTRUCTION MEETING:
  - INSTALL PERIMETER SEDIMENT CONTROLS, I.E. EROSION FENCING.
  - INSTALL STABILIZED CONSTRUCTION ENTRANCE.
  - PROTECT VEGETATION TO REMAIN.
  - CLEAR/GRUB AND CONSTRUCT DIVERSIONARY SWALES, AND SEDIMENT BASINS.
  - COMPLETE CLEARING AND GRUBBING OPERATION.
  - PLACE EROSION CONTROL MEASURES AT TOPSOIL STOCKPILES AND STRIP TOPSOIL.
  - CONDUCT SEDIMENT SITES AS EARTHWORK OPERATIONS PROGRESS.
  - MAINTAIN EROSION CONTROL MEASURES AND PLACE ADDITIONAL MEASURES AS EARTHWORK AND UNDERGROUND UTILITIES ARE CONSTRUCTED.
  - RESTORE AREAS AS DEFINED BY CONTRACT DOCUMENTS.
  - REMOVE EROSION CONTROL MEASURES AS AREAS ARE REESTABLISHED WITH GROUND COVER.

## RESTORATION AND LANDSCAPING

- GUARANTEE** - THE AGREEMENT BETWEEN THE OWNER AND CONTRACTOR SHALL DEFINE THE REQUIREMENTS, MAINTENANCE, AND TIME TO ESTABLISH NEW TURF AND LANDSCAPING ACCEPTANCE BY THE OWNER.
- TOPSOIL** - PLACE A MINIMUM OF 6 INCHES (REQUIRED) OF TOPSOIL ON ALL DISTURBED SURFACES. FINE GRADE TO ESTABLISH THE DESIGN ELEVATIONS AND DRAINAGE PATTERNS. OBTAIN OWNER'S REPRESENTATIVE APPROVAL PRIOR TO SEEDING.
- SEED** - LAWN AREAS SHALL BE HYDROSEEDED WITH AN APPROVED: SEED MIXTURE, MULCH, AND FERTILIZER. THE APPLICATION RATE SHALL BE DETERMINED BY CONTRACTOR TO ESTABLISH A "STAND" OF GRASS. THE CONTRACTOR SHALL SUBMIT MATERIAL AND APPLICATION SPECIFICATIONS TO THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO APPLICATION.
- PLANT STOCK** - PLANT MATERIALS SHALL BE IN ACCORDANCE WITH "AMERICAN STANDARD FOR NURSERY STOCK". THE CONTRACTOR SHALL SUBMIT PLANT MATERIAL SPECIFICATIONS TO THE OWNER'S ON-SITE REPRESENTATIVE FOR APPROVAL PRIOR TO DELIVERY TO THE SITE.
- PLANT LOCATIONS** - THE PLANT LOCATIONS DEPICTED ON THE PLAN MAY BE FIELD ADJUSTED (SO THEY DO NOT INTERFERE WITH UTILITIES) AND TO THE SATISFACTION OF OWNER'S REPRESENTATIVE.
- PLANTING BEDS** - PROVIDE TWELVE INCHES (12") OF TOPSOIL, WEED FABRIC (AS DIRECTED BY OWNER), AND THREE INCHES (3") OF MULCH AT PLANTING BEDS, UNLESS SPECIFIED OTHERWISE ON DRAWINGS.

DRAWING TITLE:	GRADING & EROSION CONTROL PLAN	
SHEET NO:	C3.0	
1843-25	DRAWING NO:	

JOB NO:	1843-25	
SCALE:	1'=30'	
DRAWN:	RLB	
DESIGNED:	MPT	
DATE:	09/19/2025	
REVISIONS		
DATE	BY	REVISION



## PIRANHA RENTS IN WEBSTER

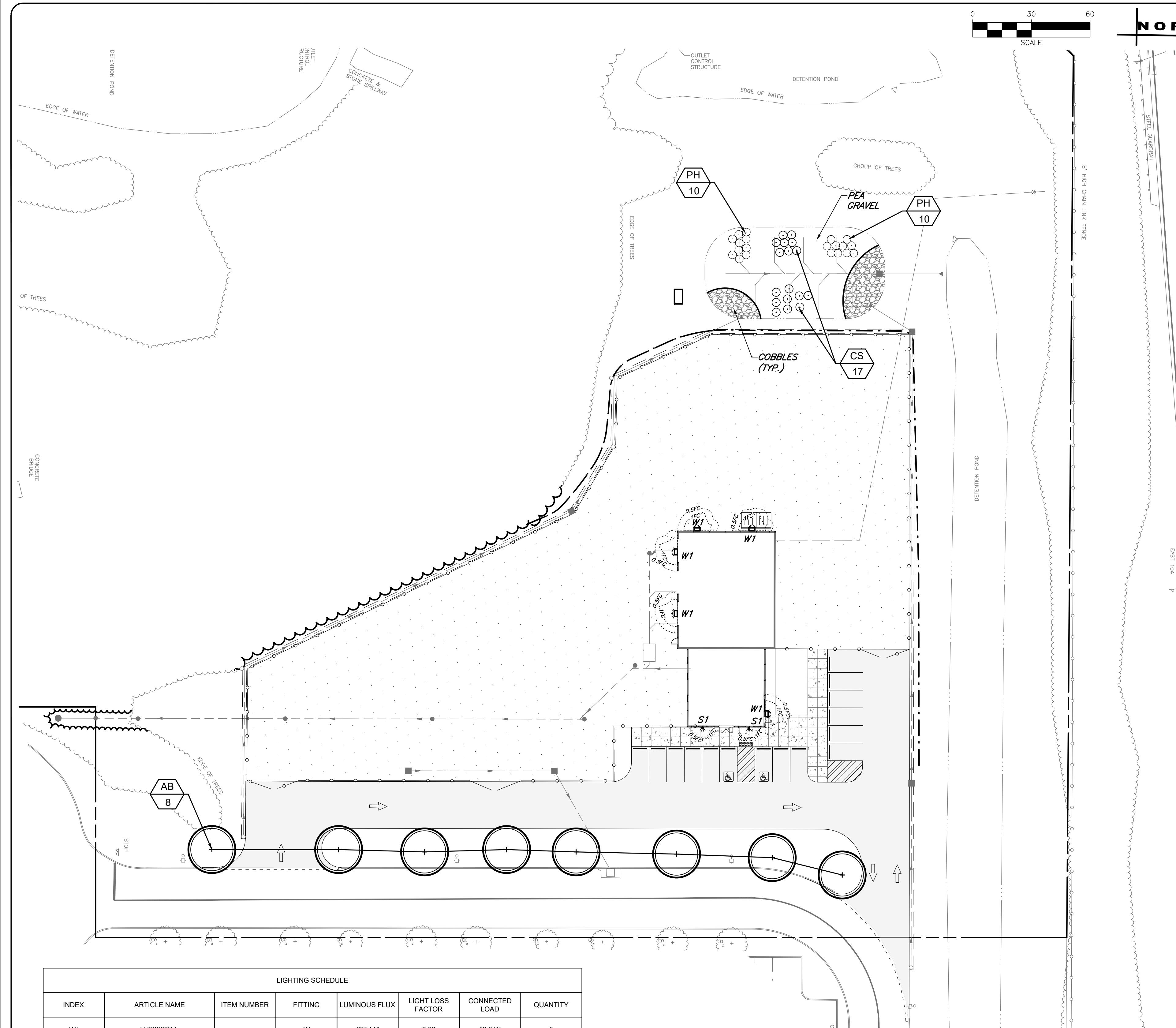
FIVE MILE LINE ROAD  
MONROE COUNTY

**MARATHON**  
ENGINEERING  
ROCHESTER LOCATION  
39 CASCADE DRIVE  
ROCHESTER, NY 14614  
5 8 5 - 4 5 8 - 7 7 0  
ITHACA LOCATION  
840 HANSHAW RD, STE 6  
ITHACA, NY 14850  
6 0 7 - 2 4 1 - 2 9 1 7  
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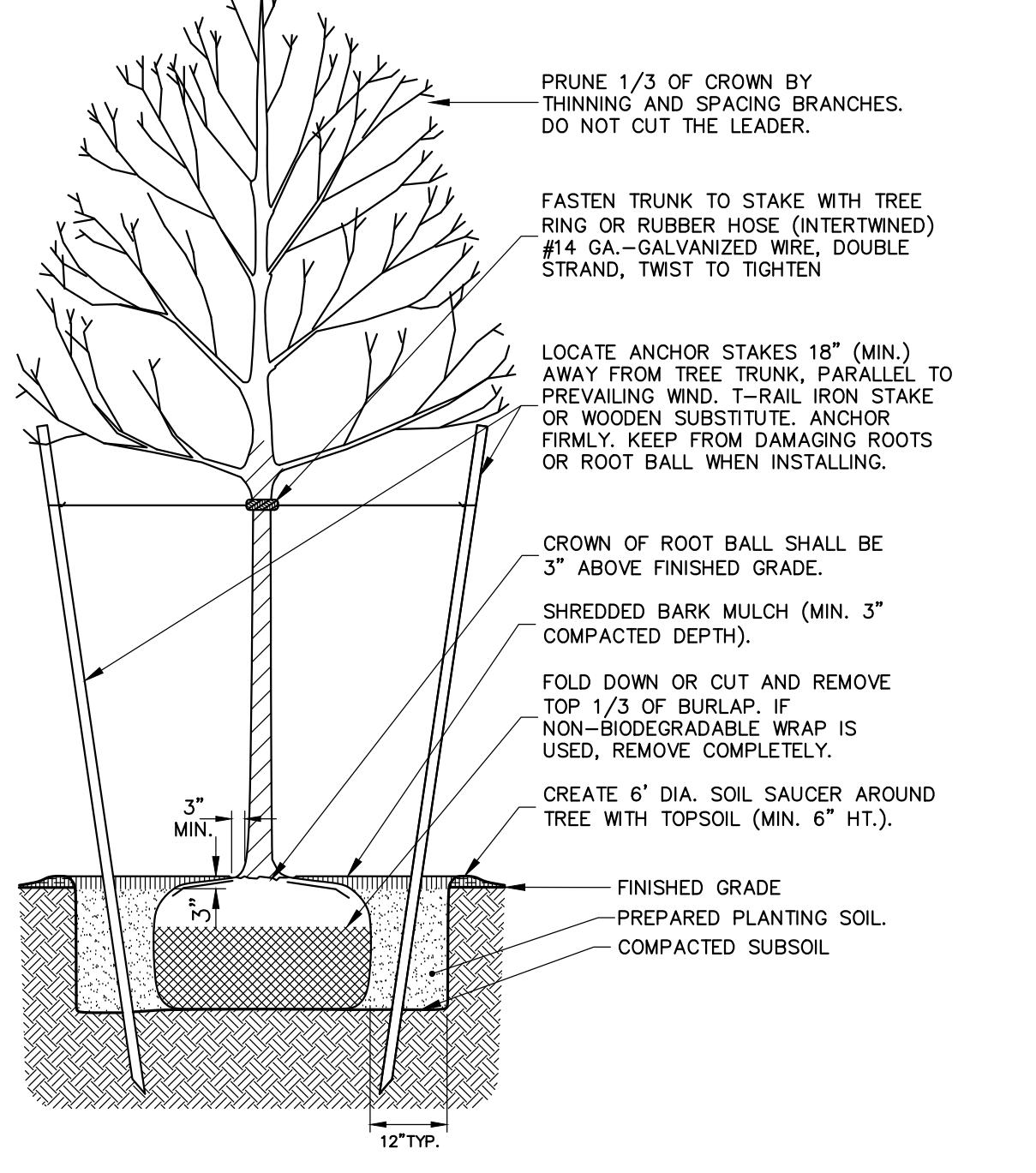
STATE OF NEW YORK

CONTRACTOR

4 of 7  
SHEET NO:  
1843-25  
DRAWING NO:  
C3.0



IRONDEQUOIT WAYNE COUNTY  
EXPRESSWAY  
(NYS RTE. 104)



1 DECIDUOUS PLANTINGS



WP WAL-PAK

SKETCH SITE PLANS  
for  
PIRANHA RENTS IN WEBSTER

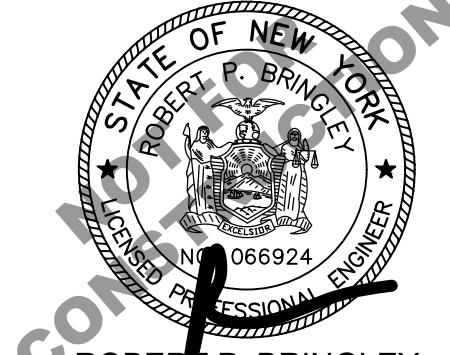
TOWN OF WEBSTER  
STATE OF NEW YORK

FIVE MILE LINE ROAD  
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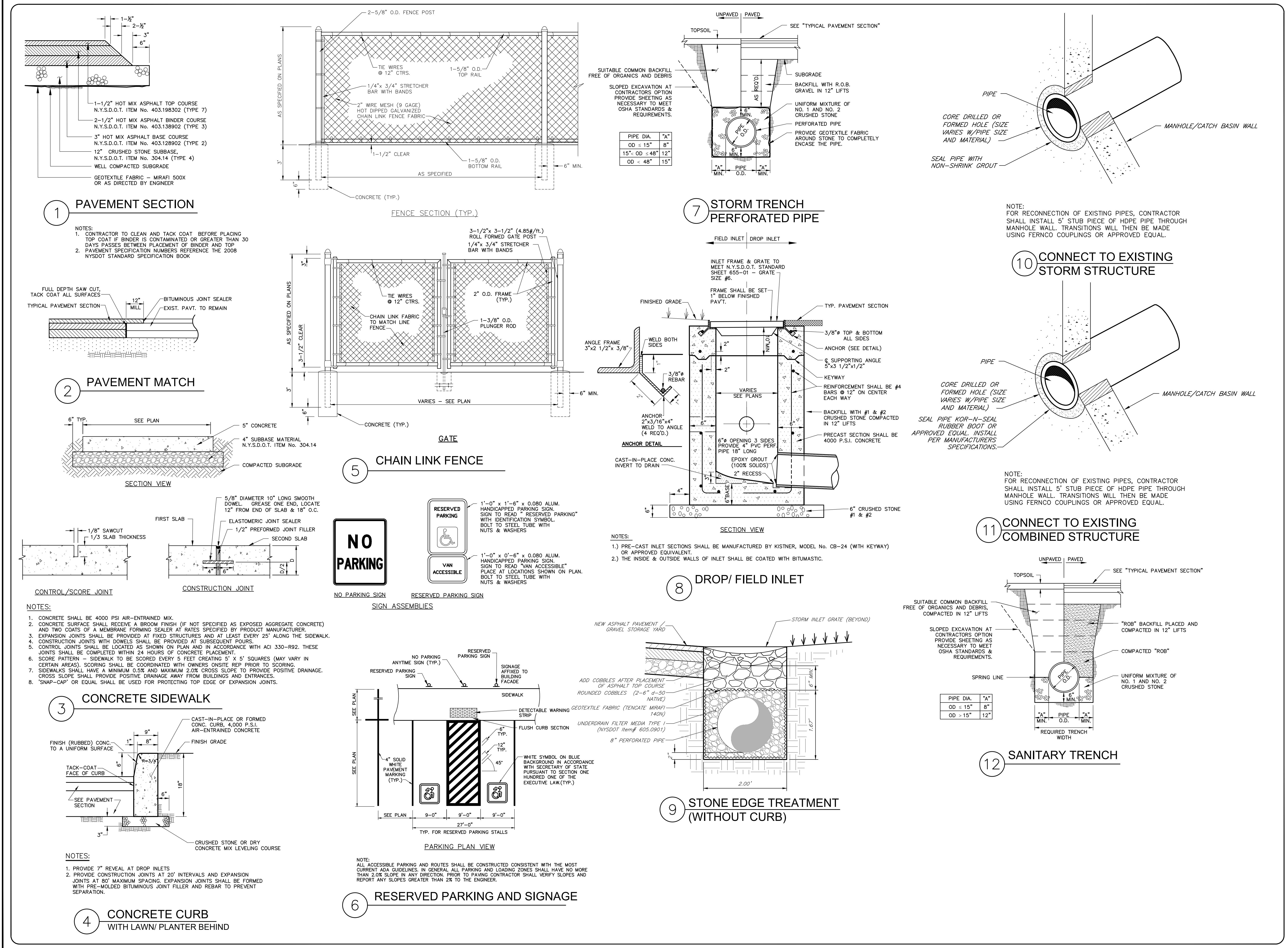
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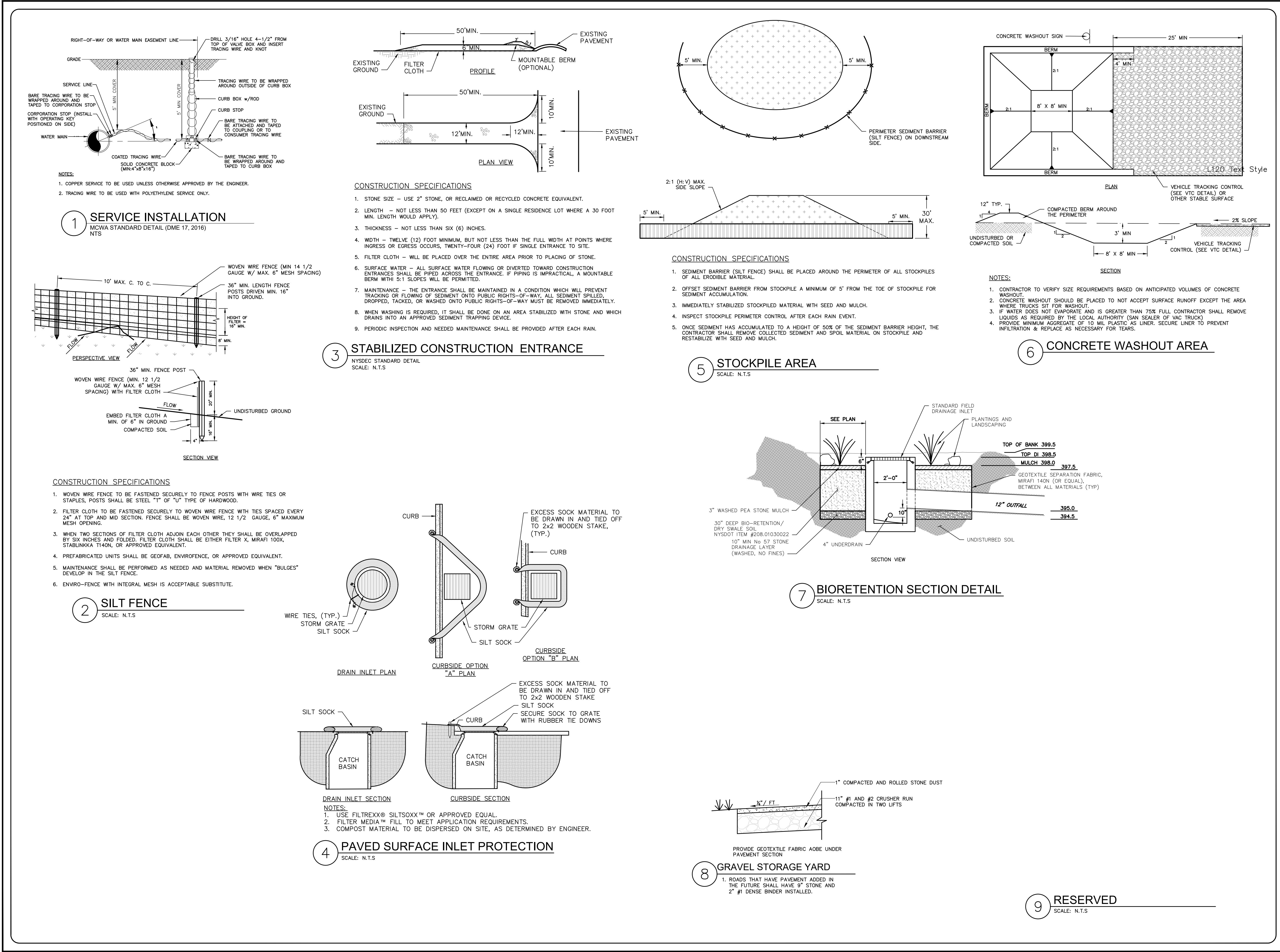
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DRAWING TITLE:  
LIGHTING &  
LANDSCAPING  
PLAN

5 of 7  
SHEET NO:  
1843-25  
DRAWING NO:  
C4.0





**PIRANHA RENTS IN WEBSTER**  
for  
FIVE MILE ROAD  
MONROE COUNTY  
TOWN OF WEBSTER

**SKETCH SITE PLANS**

JOB NO:	1843-25
SCALE:	AS SHOWN
DRAWN:	RIB
DESIGNED:	MPT
DATE:	09/19/2025
REVISIONS	
DATE	BY

REVISIONS

DATE BY REVISION

IT IS A VIOLATION OF NEW YORK STATE'S PROFESSIONAL LAW ARTICLE 145, SECTION 7209 FOR ANY PERSON TO PRACTICE ENGINEERING OR LAND SURVEYING IN ANY WAY, WITHIN THE STATE, WITHOUT HAVING THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR PLACED ON THE WORK. THE PRACTICE OF ENGINEERING OR LAND SURVEYING IS DEFINED AS PERTAINING TO THE PLACEMENT OF THE SEAL AND THE NOTATION THEREON, AS DESCRIBED BY THIS LAW, AND THE DATE OF SUCH PLACEMENT, AND A DETAILED DESCRIPTION OF THE ACTIVITIES.

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DRAWING TITLE:  
CONSTRUCTION  
DETAILS

7 of 7	SHEET NO:
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7 of 7  
SHEET NO:  
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