

PRELIMINARY/FINAL SITE PLANS
1048 SHOECRAFT ROAD

1048 SHOECRAFT ROAD

PRELIMINARY/FINAL SITE PLANS

TOWN OF WEBSTER, MONROE COUNTY, NEW YORK STATE

PREPARED FOR:
SHOECRAFT ROAD APARTMENTS LLC

1260 RIDGE ROAD
ONTARIO, NY 14519

2961-01	COVER SHEET
2961-02	SITE PLAN
2961-03	UTILITY PLAN
2961-04	GRADING PLAN
2961-05	CONSTRUCTION EROSION CONTROL PLAN
2961-06	LANDSCAPE PLAN
2961-07	LIGHTING PLAN
2961-08	PROFILE AND NOTE SHEET
2961-09	DETAIL SHEET (SHEET 1 OF 4)
2961-10	DETAIL SHEET (SHEET 2 OF 4)
2961-11	DETAIL SHEET (SHEET 3 OF 4)
2961-12	DETAIL SHEET (SHEET 4 OF 4)

SCALE: 1"=50'
DRAWING NUMBER: 2961-01
DATED: MARCH 11, 2025

SITE NOTES:

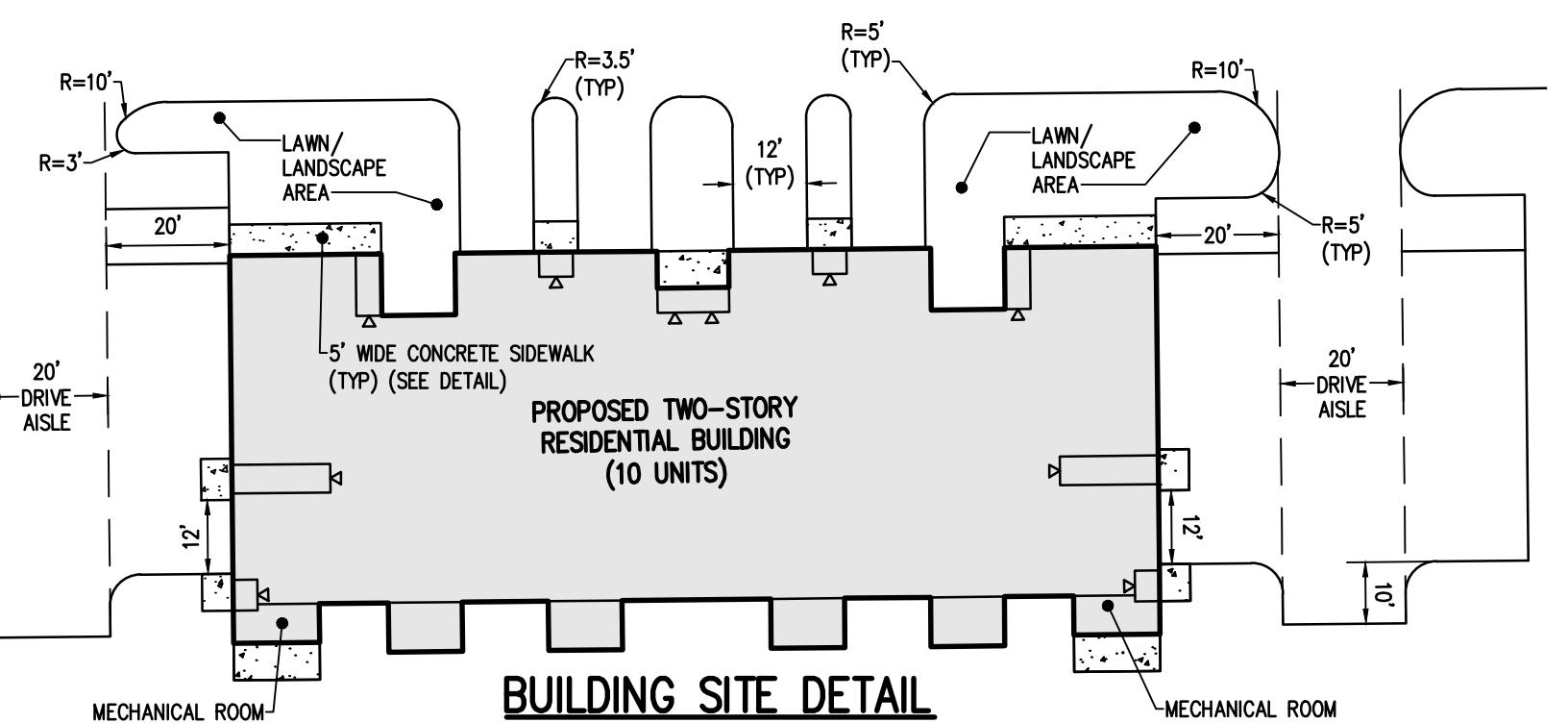
- EXISTING ZONING: (MHR) MEDIUM-HIGH RESIDENTIAL DISTRICT
- TOTAL PROPERTY AREA: ± 5.22 ACRES (TO ROW)
- PROPOSED USE: MULTI-FAMILY RESIDENTIAL (APARTMENT DEVELOPMENT)
- APPLICABLE DEVELOPMENT STANDARDS PROPOSED ARE AS FOLLOWS:

REQUIRED FOR MHR (MULTI-FAMILY ONLY)	PROPOSED
MINIMUM LOT AREA: 5 ACRES	± 5.22 ACRES
MAXIMUM LOT IMPERVIOUS AREA: 75%	$\pm 42\%$
MAXIMUM BUILDING HEIGHT: 3 STORY	2 STORY
MAXIMUM BUILDING LENGTH: 165'	151'
SETBACKS:	
FRONT BUFFER: 75'	$>75'$ (±58" FOR EXISTING, NON-CONFORMING)
MAXIMUM DENSITY: 8 UNITS PER ACRE (41 UNITS)	50 (±22" FOR EXISTING, NON-CONFORMING)
PARKING REQUIREMENTS: 82 SPACES (2 PER UNIT)	82 SPACES (2 PER UNIT)
	+24 VISITOR SPACES
	TOTAL: 106 SPACES
PARKING STALL:	9'x20'
	9'x20'

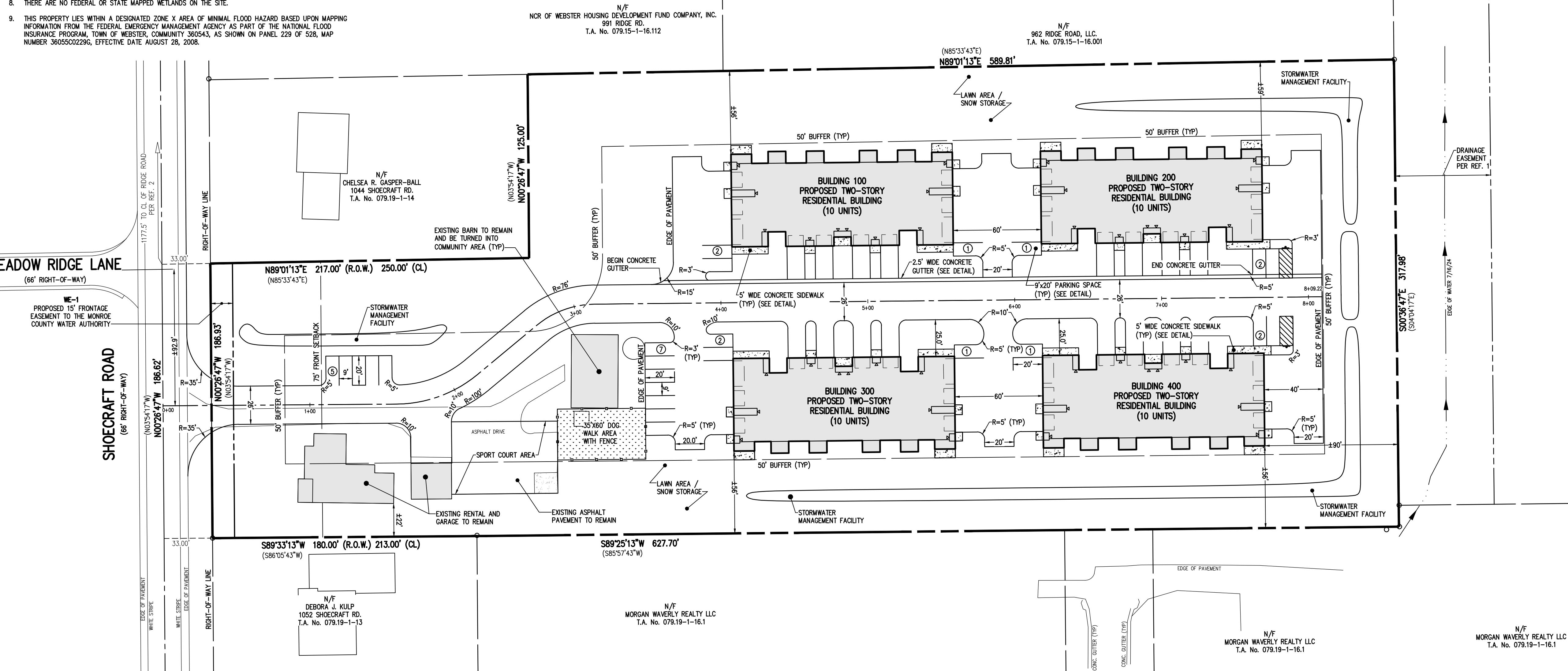
- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF WEBSTER AND THE APPROPRIATE MONROE COUNTY AND NEW YORK STATE AGENCIES, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS. FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY SURVEY OFFICE.
- THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCES OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS.
- THERE ARE NO FEDERAL OR STATE MAPPED WETLANDS ON THE SITE.
- THIS PROPERTY LIES WITHIN A DESIGNATED ZONE X AREA OF MINIMAL FLOOD HAZARD BASED UPON MAPPING INFORMATION FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY AS PART OF THE NATIONAL FLOOD INSURANCE PROGRAM, TOWN OF WEBSTER, COMMUNITY 360343, AS SHOWN ON PANEL 229 OF 528, MAP NUMBER 360343C02296, EFFECTIVE DATE AUGUST 28, 2008.

ADA NOTES:

- ALL IMPROVEMENTS ARE TO BE MADE PER THE MOST RECENT ADA STANDARDS FOR ACCESSIBLE DESIGN.
- ALL SIDEWALKS ON AN ACCESSIBLE ROUTE SHALL HAVE A MAXIMUM RUNNING SLOPE OF 5% (1:20) AND A MAXIMUM CROSS-SLOPE OF 2% (1:48).
- ALL LANDINGS ALONG AN ACCESSIBLE ROUTE SHALL HAVE A MAXIMUM SLOPE OF 2% (1:48) IN ALL DIRECTIONS.
- ALL CURB RAMPS SHALL HAVE A MAXIMUM RUNNING SLOPE OF NO GREATER THAN 8% (1:12).
- ALL CURB RAMPS SIDE SLOPES SHALL HAVE A MAXIMUM SLOPE OF 10% (1:10).
- ANY RUNNING SLOPE GREATER THAN 5% (1:20) IS TO BE CONSIDERED A RAMP AND MUST COMPLY WITH THE ADA STANDARD REQUIREMENTS FOR RAMPS.
- PARKING (SEE DETAIL):
 - ALL ACCESSIBLE PARKING SPACES TO BE A MINIMUM OF 9' x 18'
 - ALL ACCESS AISLES TO BE A MINIMUM OF 9' x 18'
 - MAXIMUM SLOPE IN ALL DIRECTIONS TO BE NO GREATER THAN 2% (1:48) FOR BOTH PARKING STALL AND STRIPED AISLE
 - ONE IN SIX ACCESSIBLE PARKING SPACES SHALL MEET THE VAN ACCESSIBLE STANDARDS PER THE ADA GUIDELINES
- PARKING SIGNAGE: ALL ACCESSIBLE PARKING SPACES AND ACCESS AISLES TO BE PROVIDED SIGNAGE PER THE MOST RECENT ADA STANDARD REQUIREMENTS (SEE SIGN DETAIL).
- ALL OTHER IMPROVEMENTS TO BE IN CONFORMANCE WITH THE MOST RECENT ADA STANDARDS FOR DESIGN.



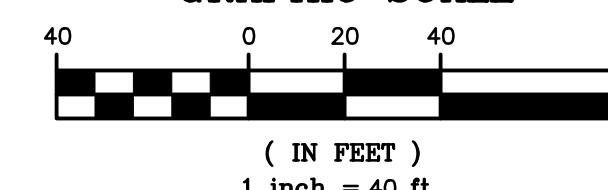
LOCATION MAP
NOT TO SCALE



LEGEND

- BOUNDARY LINE
- CENTERLINE
- SETBACK LINE
- PROPERTY MARKER FOUND
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE

GRAPHIC SCALE



PROPOSED PRIVATE ACCESS / SHOECRAFT ROAD INTERSECTION

POSTED SPEED LIMIT SHOECRAFT ROAD: 35 mph
REQUIRED DISTANCES:
(DESIGN SPEED = 40 mph)

REQUIRED INTERSECTION SIGHT DISTANCE: 445'
REQUIRED STOPPING SIGHT DISTANCE: 305'

MEASURED DISTANCES SHOECRAFT ROAD: (NORTHBOUND) (SOUTHBOUND)

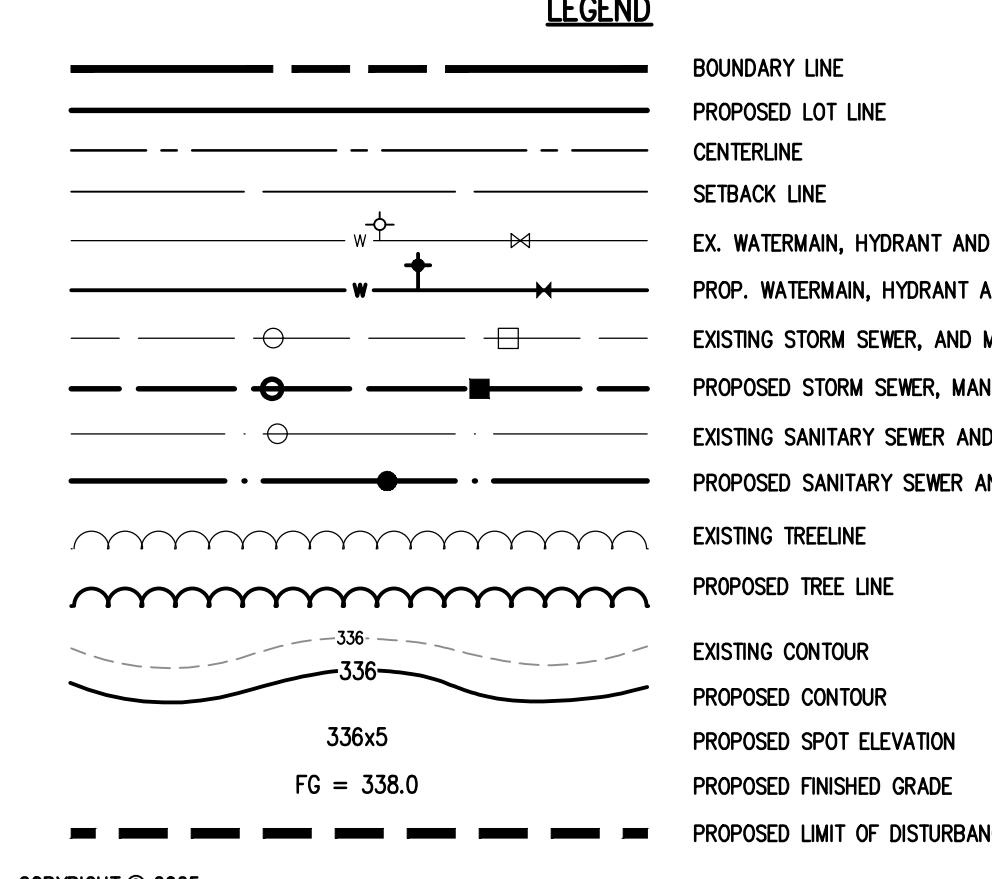
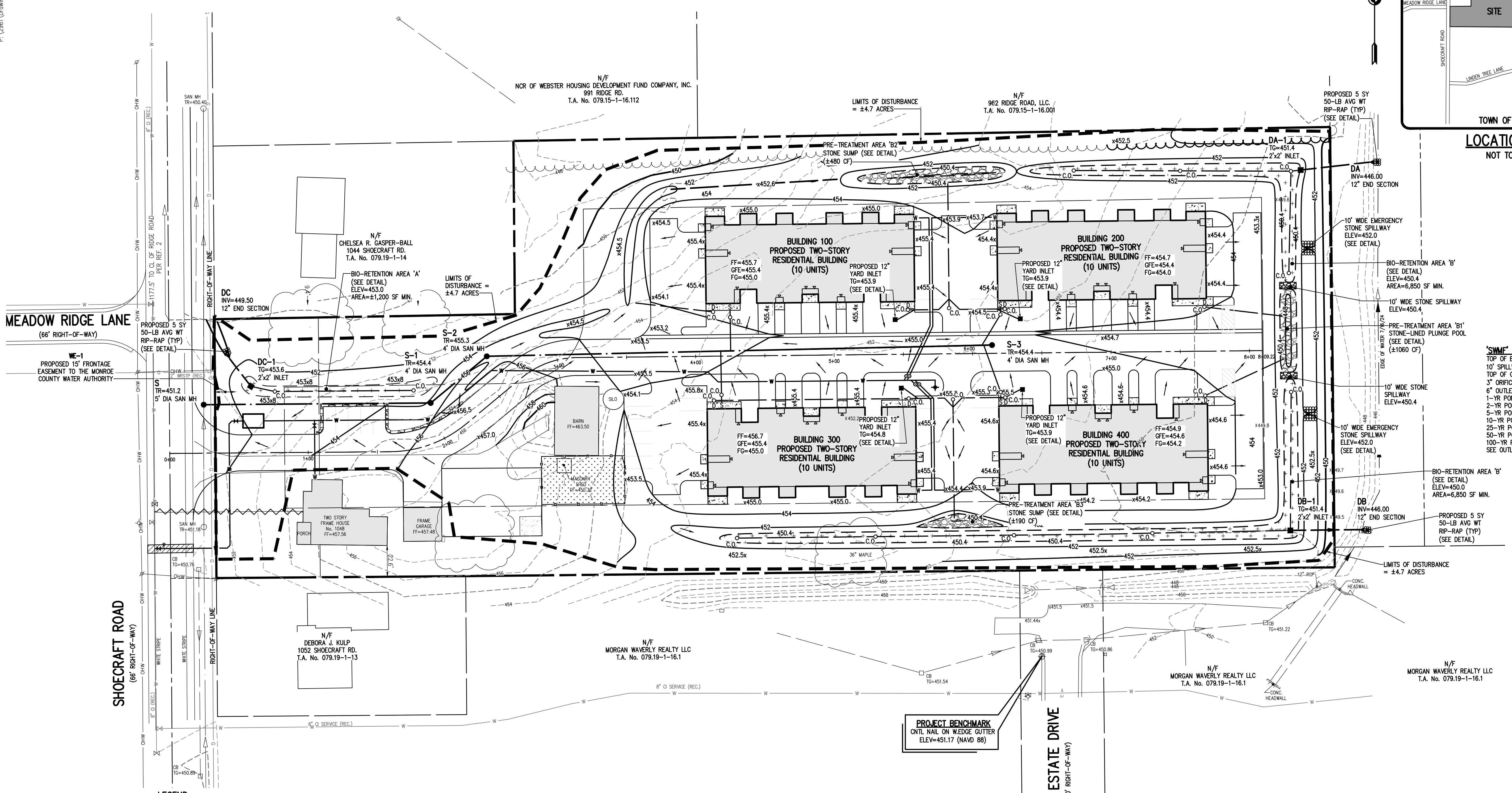
SIGHT DISTANCE (@ PROPOSED ENTRANCE):	>500'	>500'
STOPPING DISTANCE (@ PROPOSED ENTRANCE):	>500'	>500'

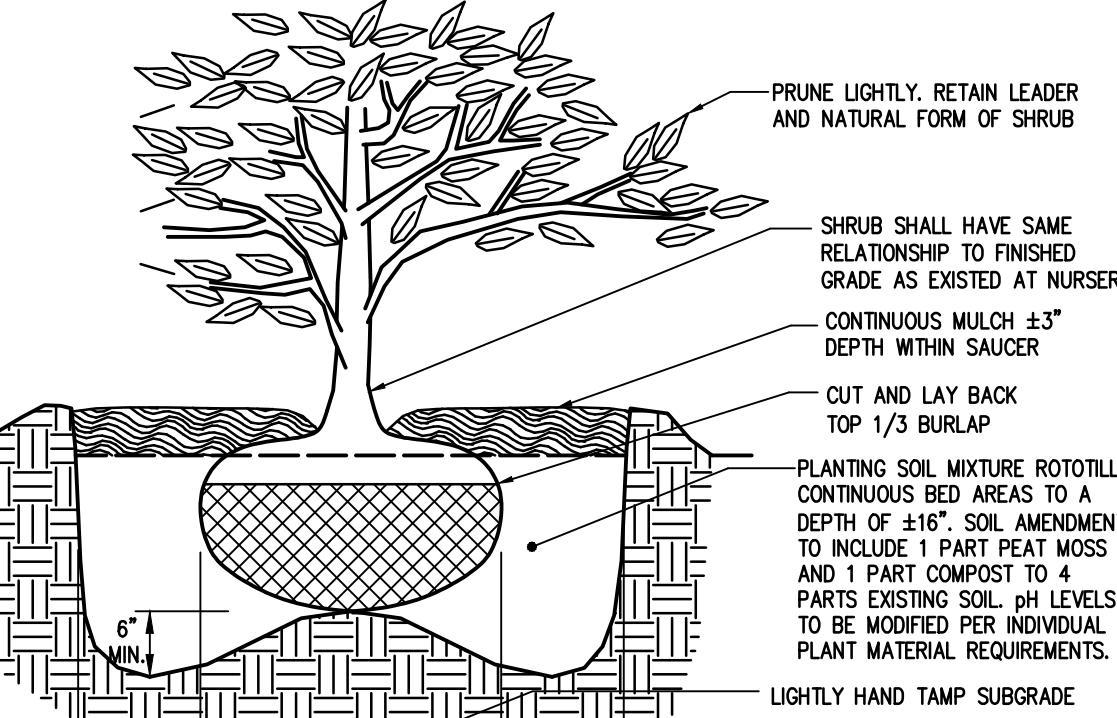
NOT APPROVED
This plan has not received final
approval of all reviewing agencies.
This plan is subject to revisions
until all approvals are obtained and
should not be used for construction
purposes.

APPROVALS

BY: COMMISSIONER OF PUBLIC WORKS	DATE:
BY: TOWN ASSESSOR	DATE:
BY: FIRE MARSHAL	DATE:
BY: PLANNING BOARD CHAIRMAN	DATE:
BY: HIGHWAY SUPERINTENDENT	DATE:

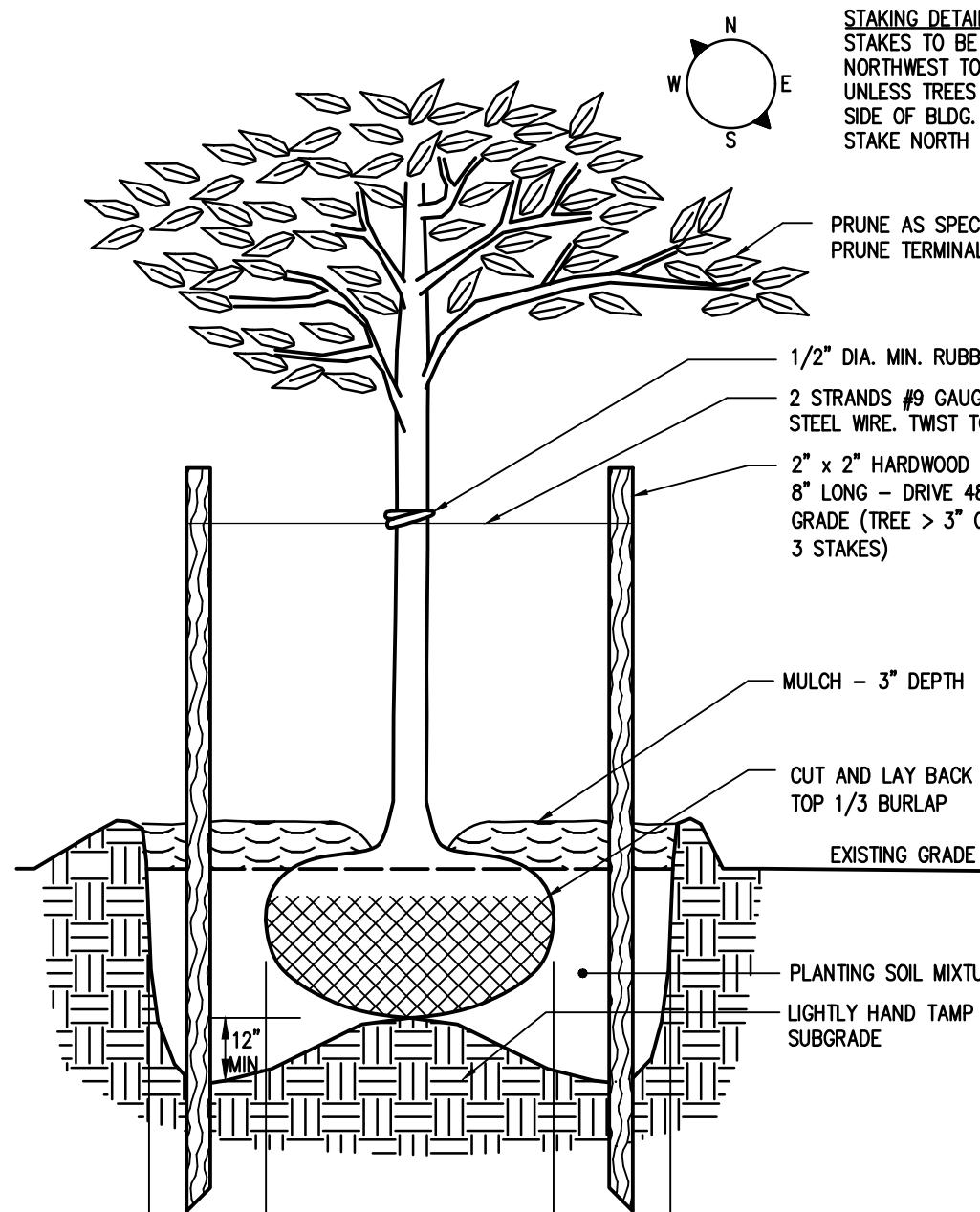






SHRUB PLANTING DETAIL

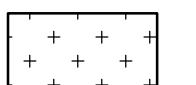
N.T.S.



TREE PLANTING DETAIL

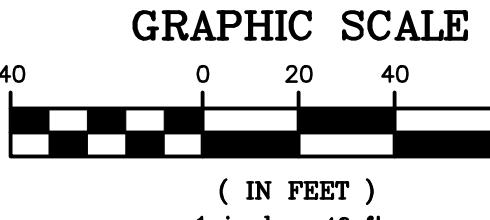
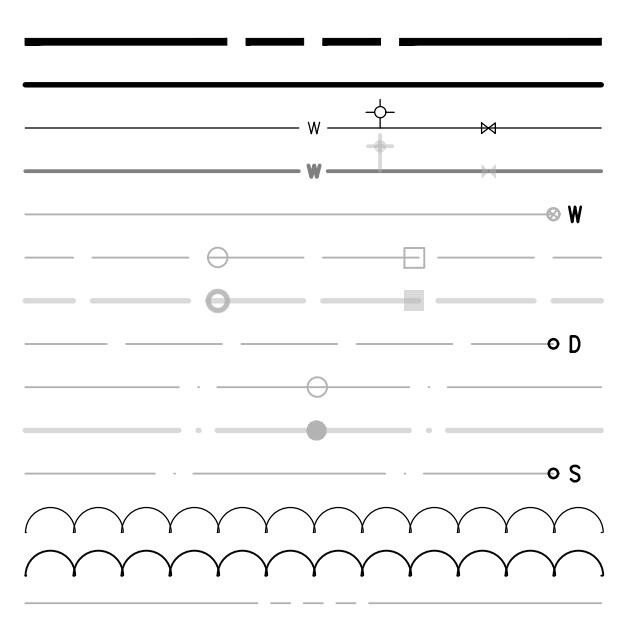
N.T.S.

GROUNDCOVER SEEDING LEGEND



STORMWATER MANAGEMENT BIOPRETENTION AREA SEED MIX
'RETENTION BASIN FLOOR MIX - LOW MAINTENANCE'
ERNST CONSERVATION SEEDS, ERNMX-126;
SEEDING RATE: 20 LBS/AC or 1/2 LB/1,000 SF.

LEGEND



SITE PLANT MATERIALS LIST

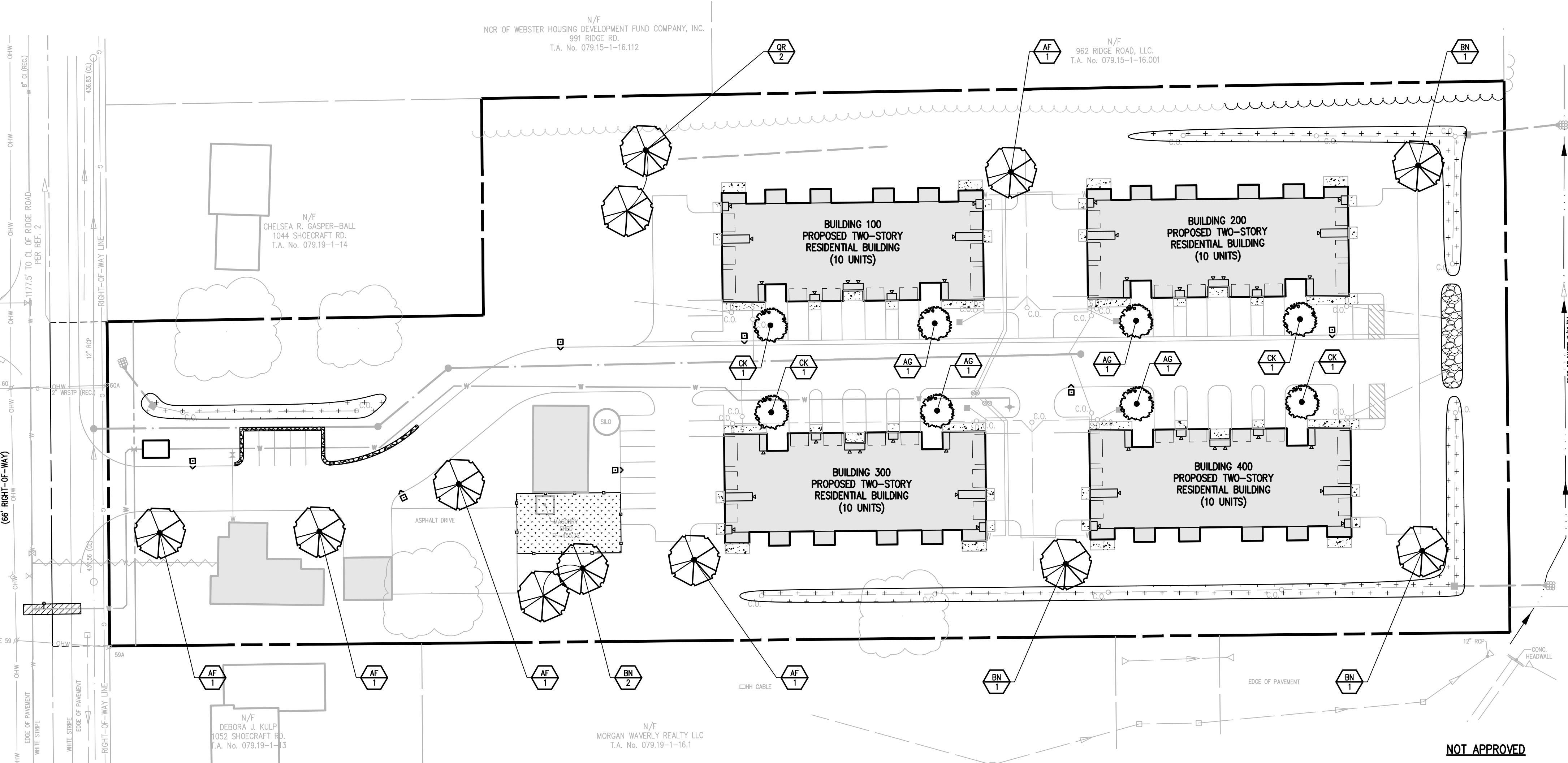
QTY.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	COMMENTS
XX	XX					
5	AF	Acer x freemanii 'Autumn Blaze'	Autumn Blaze Maple	2.5-3" cal	B&B	
4	AG	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	2-2.5" cal	B&B	
5	BN	Betula nigra 'Cully'	Heritage River Birch	2.5-3" cal	B&B	
4	CK	Cornus kousa	Kousa Dogwood	2-2.5" cal	B&B	
2	QR	Quercus rubra	Red Oak	2.5-3" cal	B&B	

N/F
NCR OF WEBSTER HOUSING DEVELOPMENT FUND COMPANY, INC.
991 RIDGE RD.
T.A. No. 079.15-1-16.112

N/F
962 RIDGE ROAD, LLC
T.A. No. 079.15-1-16.001

N/F
DEBORA J. KULP
1052 SHOECRAFT RD.
T.A. No. 079.19-1-13

N/F
MORGAN WAVERLY REALTY LLC
T.A. No. 079.19-1-16.1



NOT APPROVED

This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

APPROVALS

BY: COMMISSIONER OF PUBLIC WORKS	DATE:
BY: TOWN ASSESSOR	DATE:
BY: FIRE MARSHAL	DATE:
BY: PLANNING BOARD CHAIRMAN	DATE:
BY: WEBSTER SEWER DISTRICT	DATE:
BY: MONROE COUNTY WATER AUTHORITY	DATE:
BY: HIGHWAY SUPERINTENDENT	DATE:

1048 SHOECRAFT ROAD

PRELIMINARY/FINAL
TOWN OF WEBSTER, MONROE COUNTY, NEW YORK STATE
SHOECRAFT ROAD APARTMENTS LLC
1560 RIDGE ROAD
ONTARIO, NY 14519

LANDSCAPE PLAN

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

www.bmepc.com
585-377-360



2961

DRAWING NO.

06

PHIPS & GORHAM PURCHASE, TOWNSHIP 13, RANGE 4, TOWN LOT 60, TAX MAP NUMBER 079.19-1-15

LANDSCAPE PLAN

PROJECT	
LOCATION	
CLIENT	
DRAWING TITLE	
SCALE	DATE ISSUED
1" = 40'	MARCH 11, 2025
PROJECT NO.	
DRAWING NO.	

2961

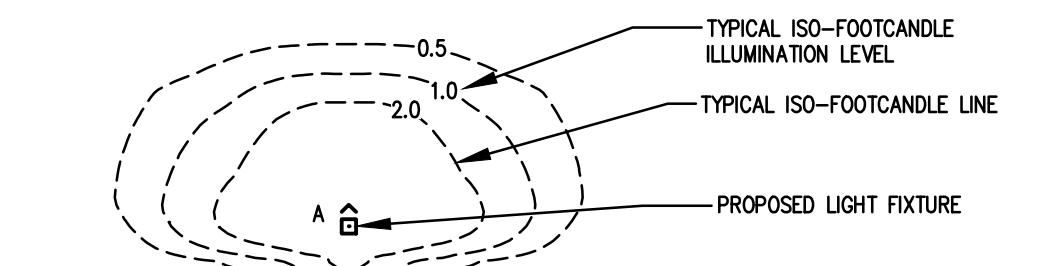
DRAWING NO.

06

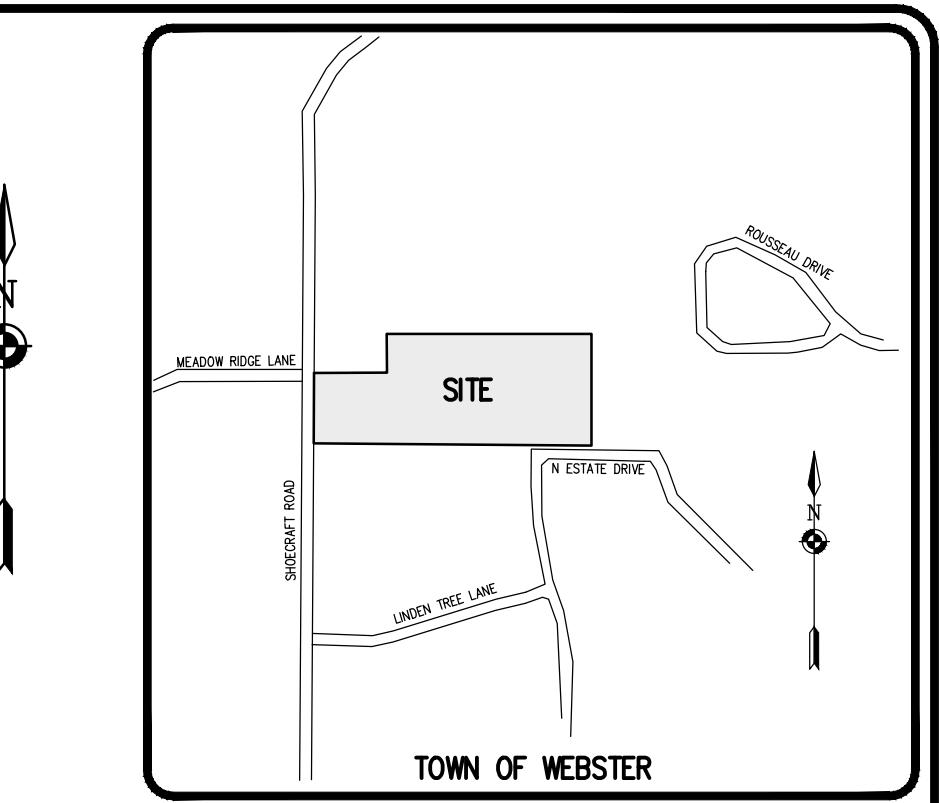
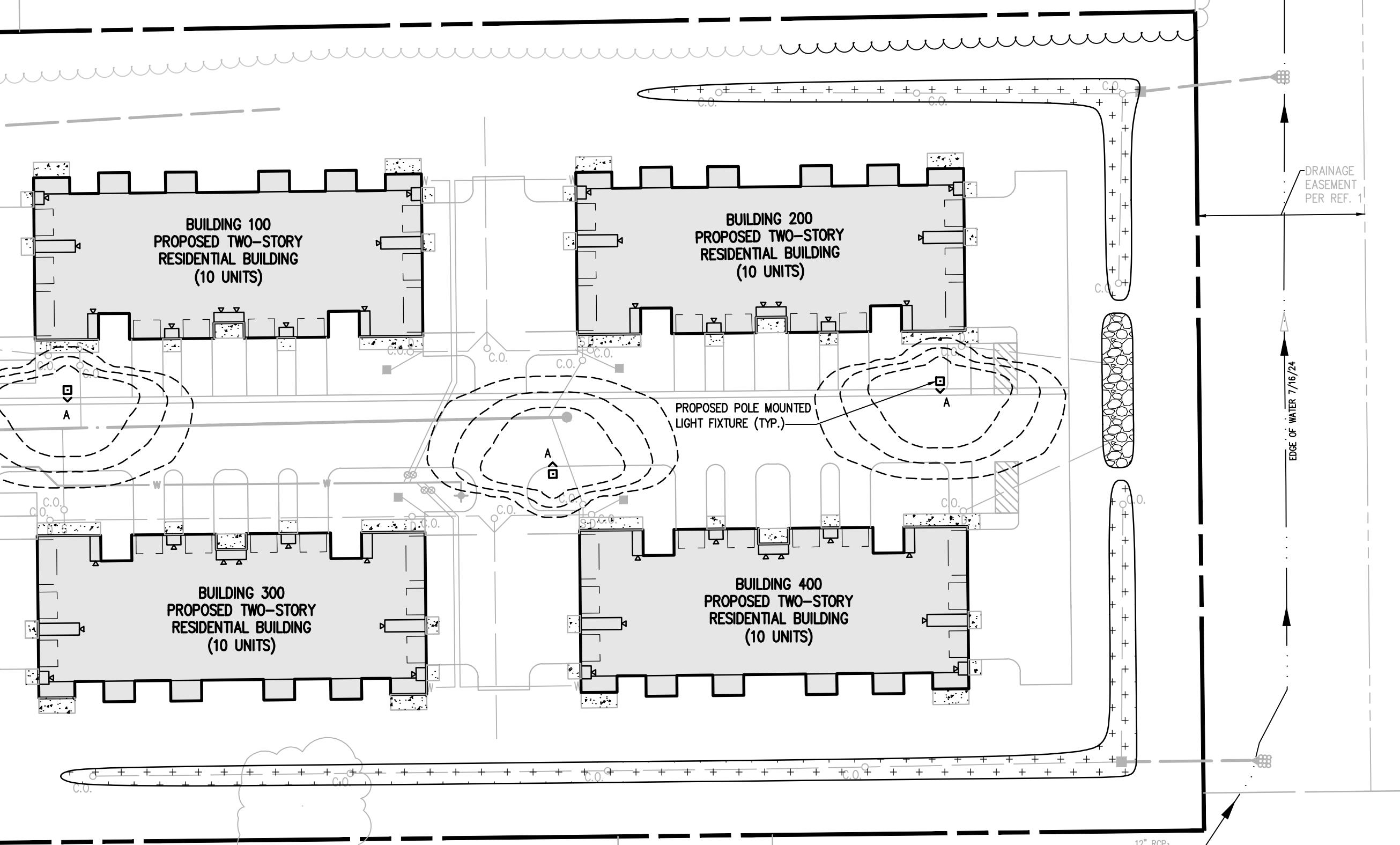
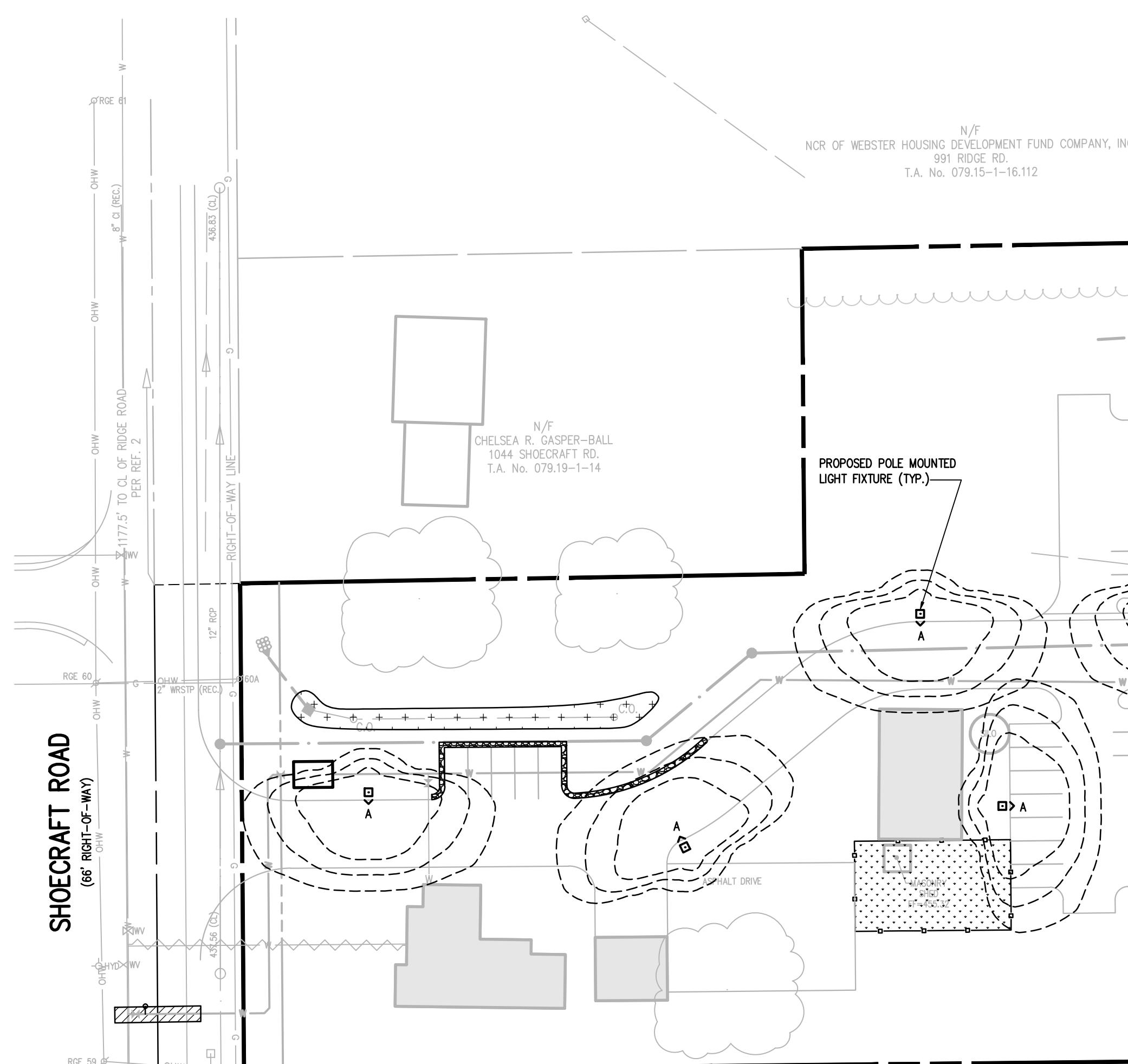
Drawing Alteration
The following is an excerpt from the
New York State Education Law Article
44 Section 7209 and applies to this
drawing:
"It is a violation of this law for any
engineer or land surveyor to alter any
item in any way if an item or survey
is offered, the offering engineer or land
surveyor shall offer the item or survey
as modified or altered and his seal
by his signature and the date of such
alteration and a specific description
of the alteration."

LUMINAIRE SCHEDULE

KEY	SYMBOL	QTY.	MANUFACTURER CATALOGUE NUMBER	WATTAGE	LUMENS/WATT	ARRANGEMENT	MH	POLE	BUG RATING	DESCRIPTION
A	□>	7	UTLD-PA1-100-740-U-T3-BK	100	107	SINGLE	15'	15'	B2-U0-G3	TRADITIONAL DECORATIVE POST TOP LUMINAIRE



TYPICAL ISO-FOOTCANDLE PLOT
N.T.S.



LOCATION MAP
NOT TO SCALE

LIGHTING NOTES:

1. SITE LIGHTING TO BE PROVIDED AS DETAILED IN PROVIDED LUMINAIRE SCHEDULE, OR APPROVED EQUIVALENT.
2. ALL FIXTURES TO HAVE BLACK FINISH.
3. ALL SITE LIGHTING TO BE DARK SKY COMPLIANT.
4. ALL SITE LIGHTING TO BE CONTROLLED WITH DUSK TO DAWN PHOTO CONTROLS.
5. ALL POLES TO BE PROVIDED A 120 VOLT LIGHTING CIRCUIT.
6. ALL LIGHT POLES TO BE LITHONIA LIGHTING STEEL SQUARE POLE, 22' POLE LENGTH (SEE LIGHT POLE DETAILS)
7. CONTRACTOR IS RESPONSIBLE FOR ALL QUANTITIES AND TAKEOFFS.
8. OWNER / CONTRACTOR IS RESPONSIBLE FOR ALL ELECTRICAL SERVICE DISTRIBUTION AND LIGHTING CIRCUITRY DESIGN.
9. CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING MOUNTED LIGHT FIXTURE LOCATIONS.

10. IF AN EQUIVALENT FIXTURE IS PROPOSED, THE CONTRACTOR SHALL SUPPLY SPEC. SHEETS FOR ALL LIGHT FIXTURES AND LIGHT POLES AND SUPPLY LIGHTING PLAN FOR EQUIVALENT FIXTURES FOR OWNER REVIEW AND APPROVAL PRIOR TO INSTALLATION.

Streetworks

UTLD Traditionaire

Decorative Post Top Luminaire



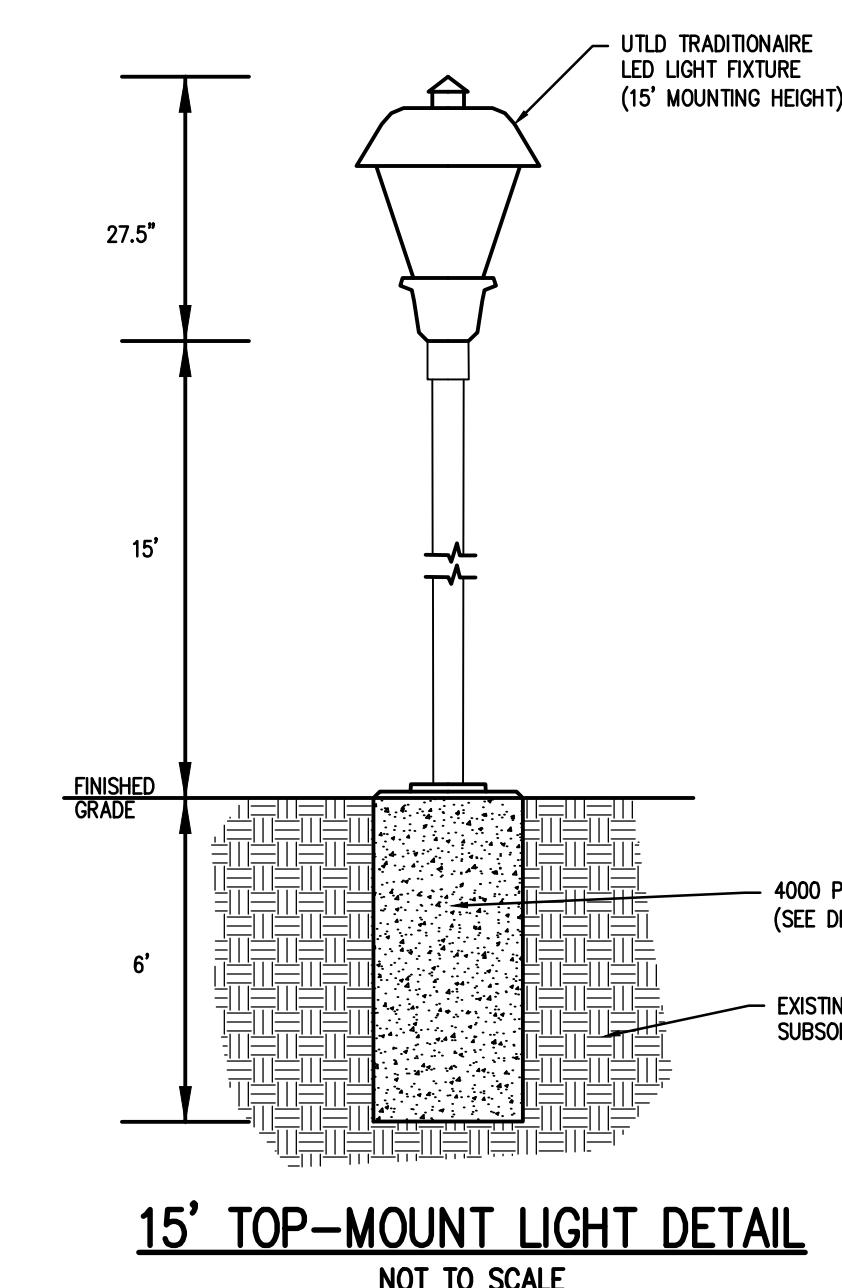
BME ASSOCIATES

ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
10 LIPBRIDGE LANE EAST
FAIRPORT, NEW YORK 14450
WWW.BMEPC.COM
585-377-7360

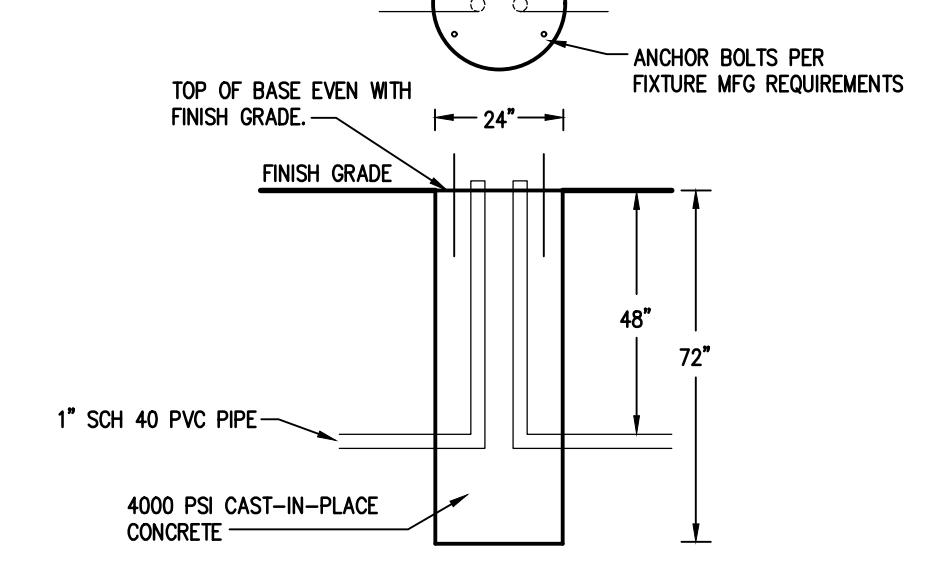


LEGEND

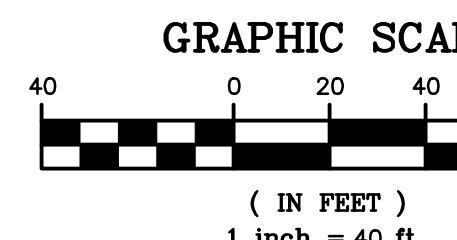
BOUNDARY LINE
EXISTING LOT LINE
PROPOSED WATERMAIN, HYDRANT, AND VALVE
PROPOSED WATERMAIN, HYDRANT, AND VALVE
PROPOSED WATER SERVICE AND CURBSTOP
EXISTING STORM SEWER, MANHOLE, AND INLET
PROPOSED STORM SEWER, MANHOLE, AND INLET
PROPOSED STORM LATERAL AND CLEANOUT
EXISTING SANITARY SEWER AND MANHOLE
PROPOSED SANITARY SEWER AND MANHOLE
PROPOSED SANITARY LATERAL AND CLEANOUT
EXISTING TREE LINE
PROPOSED TREE LINE
EXISTING EASEMENT LINE
PROPOSED EASEMENT LINE



15' TOP-MOUNT LIGHT DETAIL
NOT TO SCALE



LIGHT POLE BASE DETAIL
NOT TO SCALE



NOT APPROVED
This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

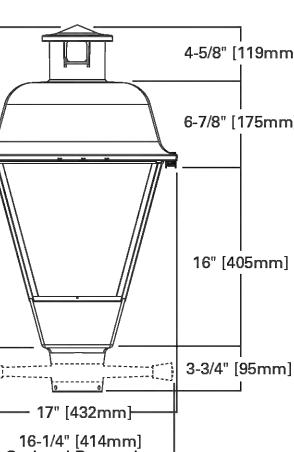
APPROVALS

BY: COMMISSIONER OF PUBLIC WORKS	DATE:
BY: TOWN ASSESSOR	DATE:
BY: FIRE MARSHAL	DATE:
BY: PLANNING BOARD CHAIRMAN	DATE:
BY: WEBSTER SEWER DISTRICT	DATE:
BY: MONROE COUNTY WATER AUTHORITY	DATE:
BY: HIGHWAY SUPERINTENDENT	DATE:

1048 SHOECRAFT ROAD

PRELIMINARY/FINAL
TOWN OF WEBSTER, MONROE COUNTY, NEW YORK STATE
SHOECRAFT ROAD APARTMENTS LLC
1560 RIDGE ROAD
ONTARIO, NY 14519

DRAWING TITLE



2961
DRAWING NO.
07

PHEPS & GORHAM PURCHASE, TOWNSHIP 13, RANGE 4, TOWN LOT 60, TAX MAP NUMBER 079.19-1-15
DATE ISSUED
1' = 40'
MARCH 11, 2025
PROJECT NO.
2961
DRAWING NO.
07

UTILITY NOTES:
 1. THE SETBACK LINES AND NOTES RELATING TO SETBACK SHOWN HEREON ARE INTENDED TO SHOW APPLICABLE ZONING REQUIREMENTS OF THE TOWN OF WEBSTER AS OF THE DATE OF THIS MAP AND ARE NOT INTENDED TO IMPOSE ANY ADDITIONAL RESTRICTIONS OTHER THAN SAID ZONING REQUIREMENTS.
 2. BUILDINGS SHOWN ON THIS PLAN ARE GRAPHICAL REPRESENTATIONS ONLY.
 3. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF WEBSTER AND APPROPRIATE AGENCIES (IE, MONROE COUNTY WATER AUTHORITY, AND THE MONROE COUNTY HEALTH DEPARTMENT) UNLESS OTHERWISE NOTED.
 4. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION. FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY GEODETIC SURVEY OFFICE.
 5. THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCES OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS.
 6. EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM FIELD LOCATIONS AND/OR AVAILABLE UTILITY COMPANY RECORD PLANS. EXISTING UTILITIES WHETHER FUNCTIONAL OR ABANDONED WITHIN THE PROJECT AREA MAY NOT BE SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL CALL THE UFWO HOTLINE AT (800)962-7962 OR 811 FOR STAKE-OUT OF EXISTING UTILITIES.
 7. THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUITABLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET EXISTING CONDITIONS.
 8. HIGHWAY DRAINAGE ALONG SHOFCRAFT ROAD IS TO BE MAINTAINED. OWNER TO FURNISH AND PLACE DRIVEWAY CULVERT PIPE (IF REQUIRED) OF A SIZE AND TYPE, AT A LINE AND GRADE TO BE DETERMINED BY THE COUNTY SUPERINTENDENT OF HIGHWAYS.
 9. UTILITY RECORD MAPPING LOCATED ON OR ADJACENT TO PROJECT SITE:
 AGENCY UTILITY TYPE CONTACT NUMBER
 MCWA WATER 585-442-2000 X285
 RCE ELECTRIC 585-694-5999
 GAS 585-771-6814
 WEBSTER SEWER SANITARY 585-265-0505

WATERMAIN:

10. WATERMAINS AND APPURTENANCES TO BE CONSTRUCTED TO THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE MONROE COUNTY WATER AUTHORITY. (SEE MCWA PUBLIC WATER SYSTEM NOTES).
 11. WATERMAINS SHALL BE ZINC COATED DUCTILE IRON CEMENT LINED CLASS 52, PVC DR-14, PVC DR-18 OR AS NOTED ON THE PLANS.
 12. WATERMAINS AND APPURTENANCES SHALL BE INSTALLED PER THE MOST RECENT AWWA (C600 FOR DIP)/(C900 FOR PVC) STANDARDS.
 13. THE WATERMAIN SHALL BE PRESSURE/LEAKAGE TESTED IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE AWWA (C600 FOR DIP)/(C605 FOR PVC STANDARDS (LATEST REVISION) OR IN ACCORDANCE WITH MORE STRINGENT REQUIREMENTS IMPOSED BY THE MONROE COUNTY WATER AUTHORITY.
 14. THE WATER MAIN SHALL BE DISINFECTED PER THE MOST RECENT AWWA 0551 STANDARDS. FOLLOWING DISINFECTION, THE WATER MAIN SHALL BE FLUSHED UNTIL THE CHLORINE CONCENTRATION IN THE WATER LEAVING THE MAIN IS NO HIGHER THAN THAT GENERALLY PREVAILING IN THE SYSTEM. THE SAMPLING POINT(S) MUST BE DECONTAMINATED BY FLAMING.

FIRE HYDRANTS ARE NOT ACCEPTABLE SAMPLING POINTS.

THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH MUST RECEIVE AT LEAST 48-HOUR ADVANCE NOTIFICATION REQUESTING SAMPLING SERVICES. THE HEALTH DEPARTMENT WILL COLLECT SAMPLES FOR FREE CHLORINE RESIDUAL, TOTAL AND FECAL COLIFORM AND 24-HOUR BACTERIAL PLATE COUNT.

ALL WATER MAIN FITTINGS NOT RECEIVING 24-HOUR CHLORINE DISINFECTION CONTACT TIME MUST BE SWAB DISINFECTED 30 MINUTES PRIOR TO INSTALLATION.
 THE WATER MAIN SHALL NOT BE PLACED INTO SERVICE UNTIL SO AUTHORIZED BY THE MONROE COUNTY DEPARTMENT OF HEALTH.

15. PRIOR TO INSTALLATION OF THE WATERMAIN, THE CONTRACTOR SHALL PROVIDE RESULTS OF A 10 POINT SOIL TEST EVALUATION PER ANSI-AWWA C105-AZ1.5-82 TO DETERMINE THE NEED FOR POLYETHYLENE ENCASING. SOIL TESTS ARE TO BE PERFORMED BY AN APPROVED SOIL TESTING LABORATORY IN ACCORDANCE WITH MCWA STANDARDS.
 16. THE FOLLOWING COMPUTER SIMULATED FLOW TESTS WERE PROVIDED BY THE MCWA:

LOCATION: 1052 SHOFCRAFT ROAD
 PRESSURE ZONE: 650
 TEST ELEVATION: 451'
 SIMULATED SUPPLY CURVE:

Q (GPM)	PRESSURE (PSI)	HEAD (FT)
0	82	189.42
500	71.8	172.79
1,000	57.9	133.75
1,500	32.5	75.08
1,965.20	0	0

THE PRESSURE AND FLOW DATA PROVIDED HEREIN REPRESENTS A COMPUTER SIMULATED AVERAGE ESTIMATED VALUE AT THIS LOCATION IN THE DISTRIBUTION SYSTEM FROM KNOWN AND/OR ESTIMATED SYSTEM VARIABLES. THE FLOW VALUES INDICATED BY THE SUPPLY CURVE MAY VARY GREATLY DEPENDING ON DEMANDS, OPERATIONAL PARAMETERS, SYSTEM CONFIGURATIONS, SUBSEQUENT MODIFICATIONS AND OTHER RELATED CRITERIA.

SANITARY SEWER:

17. ALL SANITARY SEWERS ARE IN COMPLIANCE WITH THE SPECIFICATIONS AND SEWER POLICY OF THE TOWN OF WEBSTER.
 18. SANITARY SEWERS, HOUSE LATERALS AND APPURTENANCES SHALL BE CONSTRUCTED ACCORDING TO THE SPECIFICATIONS OF THE TOWN OF WEBSTER.
 19. SANITARY SEWER PIPE SHALL BE 8" PVC SDR-35 OR AS NOTED ON THE PLAN.

20. FLOOR DRAINS TO BE CONNECTED TO THE SANITARY SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION OF FLOOR DRAINS INSTALLED TO INTERCEPT UNCONTAMINATED GROUNDWATER. ALL DISCHARGES TO THE SANITARY SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR THE MONROE COUNTY SEWER USE LAW.

21. INFILTRATION OR EXFILTRATION SHALL BE LIMITED TO 100 GALLONS PER MILE PER INCH DIAMETER OF PIPE PER 24 HOURS FOR SANITARY SEWERS. IF AN AIR TEST IS USED, THE TEST AS A MINIMUM SHALL CONFORM TO THE PROCEDURE DESCRIBED IN ASTM-E1471, ENTITLED STANDARD PRACTICE FOR INSTALLATION ACCEPTANCE OF PLASTIC NON-PRESSURE SEWER LINES USING LOW-PRESSURE AIR. SANITARY MANHOLES SHALL BE TESTED FOR EXFILTRATION.

WATER TESTING - EACH MANHOLE SHALL BE FILLED WITH A MAXIMUM OF 10 FEET OF WATER, SUBJECTED TO A 24 HOUR TEST AND SHOW A LOSS OF WATER NOT TO EXCEED 15 GALLONS/24 HOURS FOR A 4 FOOT IDMH. INFILTRATION TESTS SHALL ADHERE TO THE SAME LIMITS.

VACUUM TESTING - EACH MANHOLE SHALL BE SUBJECTED TO A VACUUM OF 10 INCHES OF HG FOR ONE MINUTE WITH AN ALLOWABLE LOSS OF 1 INCH OF HG.

22. THE FOLLOWING TESTS SHALL BE PERFORMED ON PVC SANITARY SEWER PIPE:

A) DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPE. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACK FILL HAS BEEN IN PLACE AT LEAST 30 DAYS.

B) NO PIPE SHALL EXCEED A 5% DEFLECTION.

C) IF THE DEFLECTION TEST IS TO BE RUN USING A RIGID BALL OR MANDREL, IT SHALL HAVE A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.

23. NEW SEWERS ARE TO BE PLUGGED WHEN CONNECTED TO EXISTING MANHOLES UNTIL THE NEW SEWERS ARE FLUSHED, TESTED, AND READY FOR SERVICE.

STORM SEWER:

24. STORM SEWERS, BUILDING LATERALS AND APPURTENANCES SHALL BE CONSTRUCTED ACCORDING TO THE SPECIFICATIONS OF THE TOWN OF WEBSTER.

25. STORM SEWER PIPE SHALL BE HIGH-DENSITY POLYETHYLENE (HDPE) SMOOTH INTERIOR, OR AS NOTED ON THE PLAN.

26. CHECK VALVES TO BE PROVIDED ON SUMP PUMPS.

27. DOWNSPOUTS SHALL DISCHARGE ON SPLASH BLOCKS. FOUNDATION DRAINS SHALL DISCHARGE ON SPLASH BLOCKS VIA SUMP PUMPS.

LATERALS AND SERVICES:

28. ALL LATERALS OR SERVICES SHALL BE AS NOTED BELOW UNLESS OTHERWISE NOTED ON THE PLANS:

WATER - 2" PVC DR-14 FROM THE VALVE TO THE BUILDING
 SANITARY - 6" PVC SDR-21 INSTALLED AT 2.00% MIN SLOPE.
 STORM - 6" PVC SDR-35 INSTALLED AT 1.00% MIN SLOPE.

EXTEND LATERALS TO 10 FEET BEYOND THE RIGHT-OF-WAY, OR 10 FEET BEYOND THE EASEMENT LINES, WHICHEVER IS GREATER.

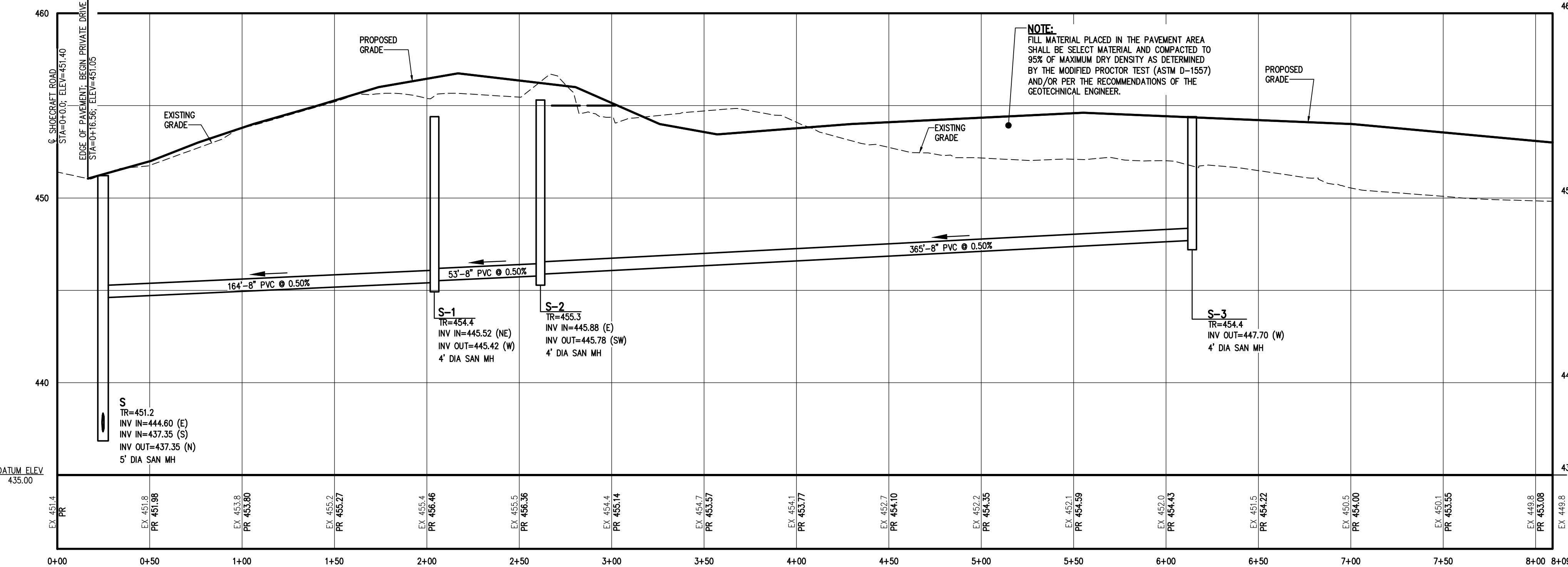
29. NO CURB VALVE BOXES (WATER LATERAL) ARE ALLOWED IN DRIVEWAYS. THE SERVICE OR DRIVEWAY WILL BE RELOCATED IF THIS CONFLICT ARISES.

30. ALL HOMES WITH WATER PRESSURE GREATER THAN 70 PSI AT THE METER WILL REQUIRE A PRESSURE REDUCING VALVE INSTALLED AFTER THE METER.

31. SANITARY LATERALS' WITNESS STAKES SHALL BE 2"X4" HARDWOOD, EXTENDED 2-3" ABOVE GRADE AND PAINTED GREEN.

32. ANY LAUNDRY WASTEWATER SHALL BE DIRECTED TO THE SANITARY SEWER.

33. CLEAUNTS FOR STORM LATERALS SHALL BE INSTALLED AT ALL HORIZONTAL BENDS AND AT 30' INTERVALS ALONG THE LATERAL. CLEAUNTS FOR SANITARY LATERALS SHALL BE INSTALLED AT THE RIGHT-OF-WAY OR EASEMENT LINE, AT ALL BENDS 45' OR GREATER, AND AT 85-100 FOOT INTERVALS THEREAFTER.



PROPOSED PRIVATE DRIVE

SCALE: HORIZ: 1"-40'
 VERT: 1"-4"

CONSTRUCTION EROSION CONTROL NOTES:

1. THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) CONSISTS OF THE STORMWATER MANAGEMENT REPORT, THE PROJECT PLANS, INCLUDING THE GRADING, CONSTRUCTION EROSION CONTROL PLAN AND DETAIL SHEET, AND THE TOWN OF WEBSTER DESIGN AND CONSTRUCTION SPECIFICATIONS REGARDING STORMWATER CONTROL. THE SWPPP FOR THIS PROJECT IS INTENDED TO CONFORM WITH THE NYSDC GENERAL PERMIT GP-0-20-001 AND THE REQUIREMENTS OF LOCAL AND NYSDC AUTHORITIES REGARDING THE CONTROL OF STORMWATER QUANTITY AND QUALITY.

2. THE OWNER IS RESPONSIBLE FOR IMPLEMENTING THE REQUIRED SWPPP. THE OWNER'S CONTRACTOR, SUB-CONTRACTOR AND ALL OTHERS ASSOCIATED WITH THE IMPLEMENTATION OF THE PLAN SHALL BE FAMILIAR WITH THE PLAN AND THE CONDITIONS OF THE NYSDC GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.

3. ANY MODIFICATIONS OR DEVIATIONS FROM THE SWPPP, INCLUDING EROSION CONTROL MEASURES AND STORMWATER MANAGEMENT FACILITIES, SHALL BE DOCUMENTED IN THE INSPECTION REPORT AND CONSIDERED PART OF THE SWPPP FOR THE PROJECT.

4. THE OWNER IS RESPONSIBLE FOR FILING THE NOTICE OF INTENT (NOI) FOR CONSTRUCTION ACTIVITY WITH NYSDC PRIOR TO COMMENCING ANY CONSTRUCTION. A COPY OF THE NOI SHALL BE KEPT ON-SITE AND PROVIDED TO THE MUNICIPALITY.

5. THE OWNER SHALL BE RESPONSIBLE FOR PROVIDING ON-SITE INSPECTIONS BY A LICENSED PROFESSIONAL REGARDING EROSION CONTROL DURING CONSTRUCTION. INSPECTIONS ARE TO BE PROVIDED AT A MINIMUM OF ONE WEEK FOR DISTURBANCES LESS THAN 5 ACRES. AN INSPECTION REPORT LOG AND THE SWPPP ARE TO BE KEPT ON-SITE BY THE OWNER.

6. FOR SITES WHERE SOIL DISTURBANCE ACTIVITIES HAVE BEEN TEMPORARILY SUSPENDED (E.G. WINTER SHUTDOWN) AND TEMPORARY STABILIZATION MEASURES HAVE BEEN APPLIED TO ALL DISTURBED AREAS, THE OWNER/OPERATOR MAY REDUCE THE SELF-INSPECTION FREQUENCY, BUT SHALL MAINTAIN A MINIMUM OF MONTHLY INSPECTIONS. (30 CALENDAR DAYS)

7. THE OWNER'S CONTRACTOR/REPRESENTATIVE SHALL IDENTIFY AT LEAST ONE INDIVIDUAL TO BE TRAINED FROM THEIR COMPANY THAT WILL BE RESPONSIBLE FOR IMPLEMENTATION OF THE SWPPP. THE INDIVIDUAL MUST RECEIVE (4) HOURS OF NYSDC TRAINING EVERY (3) YEARS. THE OWNER/OPERATOR SHALL ENSURE THAT AT LEAST ONE OF THE TRAINED INDIVIDUALS IS ON SITE PLACED IN A FULLY BASIC WEATHER SOIL DISTURBANCE ACTIVITIES ARE BEING PERFORMED.

8. FOR DISTURBANCES LESS THAN 5 ACRES, IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED, THE APPLICATION OF SOIL STABILIZATION MEASURES MUST BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN 14 DAYS FROM THE DATE THE CURRENT SOIL DISTURBANCE ACTIVITY CEASED. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY GROUNDCOVER, THE DISTURBED AREAS SHALL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL. ADDITIONAL TIME FRAMES FOR STABILIZATION ARE SUBJECT TO THE REQUIREMENTS OF A REGULATED TRADITIONAL LAND USE MS4.

9. THE OWNER'S CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, CLEANING, REPAIR, AND REPLACEMENT OF EROSION CONTROL MEASURES DURING SITE CONSTRUCTION.

10. ALL DISTURBED AREAS TO BE RECLAIMED WITH A MINIMUM OF 6" TOPSOIL.

11. AREAS OR EMBANKMENTS REQUIRING AN EROSION CONTROL BLANKET SHALL UTILIZE ECS-1B (EASTCOAST) OR AN APPROVED EQUIVALENT.

12. THE BIORETENTION FACILITY MAY NOT BE CONSTRUCTED UNTIL ALL CONTRIBUTING DRAINAGE AREAS HAVE BEEN STABILIZED.

13. ALL DISTURBED AREAS TO BE RESTORED PER TABLE 5.2 SOIL RESTORATION REQUIREMENTS FOUND IN CHAPTER 5: RUNOFF REDUCTION TECHNIQUES OF THE NYS STORMWATER MANAGEMENT DESIGN MANUAL.

14. TEMPORARY SEEDING OF DISTURBED AREAS SHALL BE PROVIDED AS FOLLOWS:

THE SURFACE TWO INCHES OF SOIL SHOULD BE LOOSENED BY DISKING, RAKING, OR BACK-BLADING WITH A BULLDOZER. IMMEDIATELY FERTILIZE WITH 300 LBS PER ACRE (OR 7 LBS PER 1000 SQ. FT.) OF 10-10-10 FERTILIZER. IMMEDIATELY SEED WITH THE FOLLOWING MIX:

LBS./ACRE LBS./1000 SQ. FT.

ANNUAL RYEGRASS 40 1
 PERENNIAL RYEGRASS 40 1
 OATS 40 1
 WHITE CLOVER (+ INOCULANT) 4 0.1

SEED SHOULD HAVE A GERMINATION RATE OF AT LEAST 85 PERCENT AND MINIMAL INERT MATERIAL.

15. DISTURBED AREAS SHALL BE STABILIZED USING PERMANENT LAWN SEEDING MIX UPON COMPLETION OF GRADING AND CONSTRUCTION:

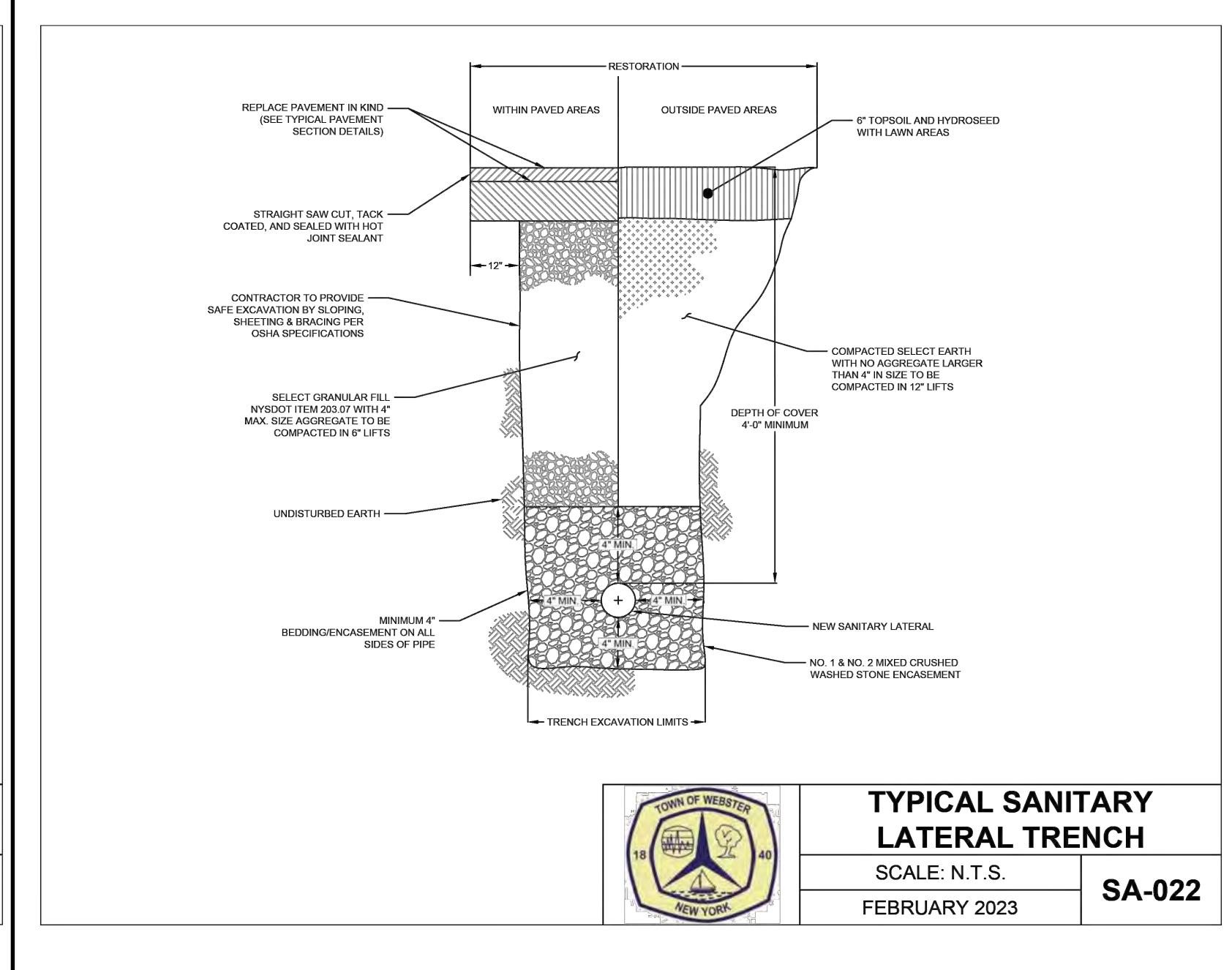
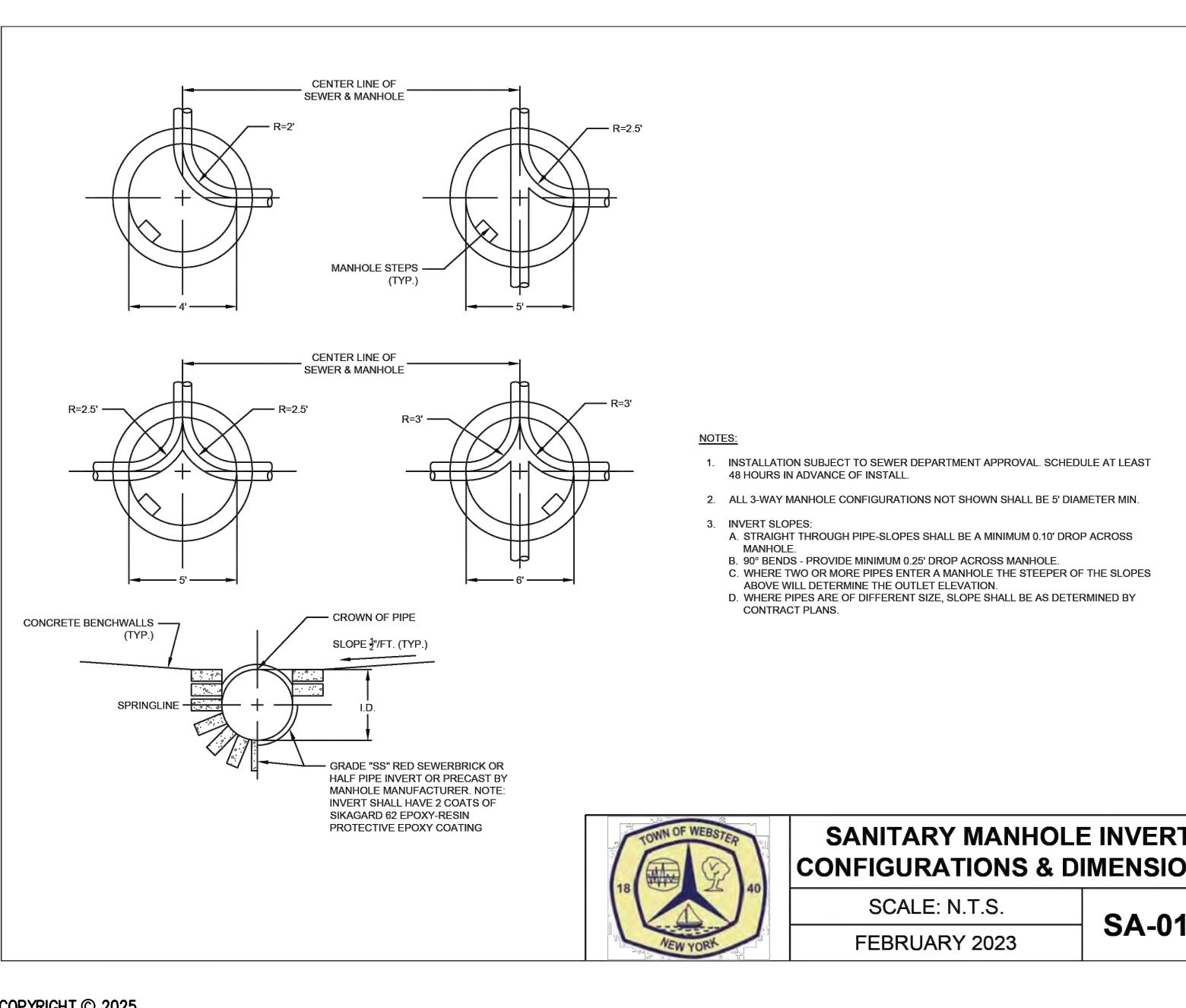
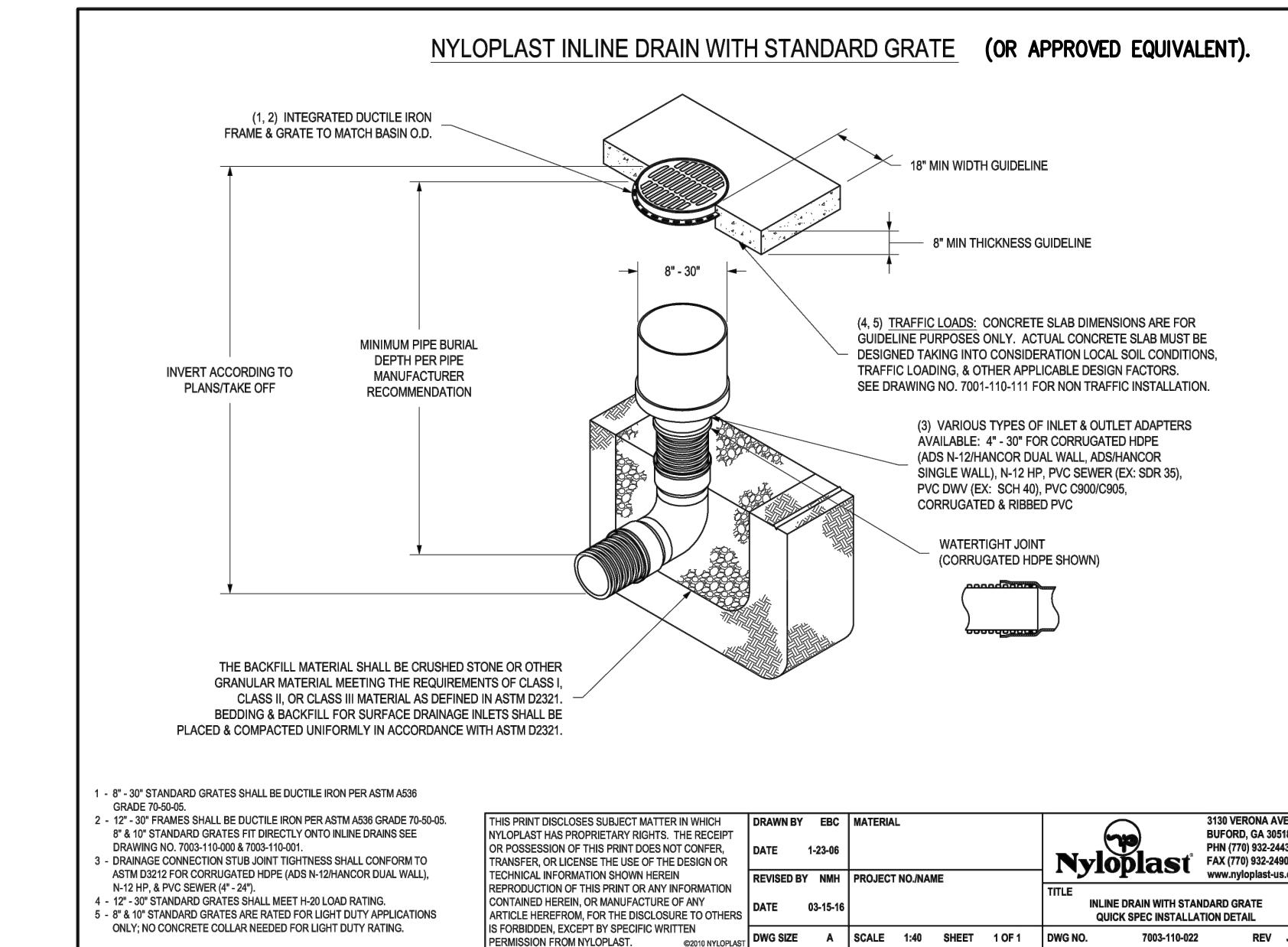
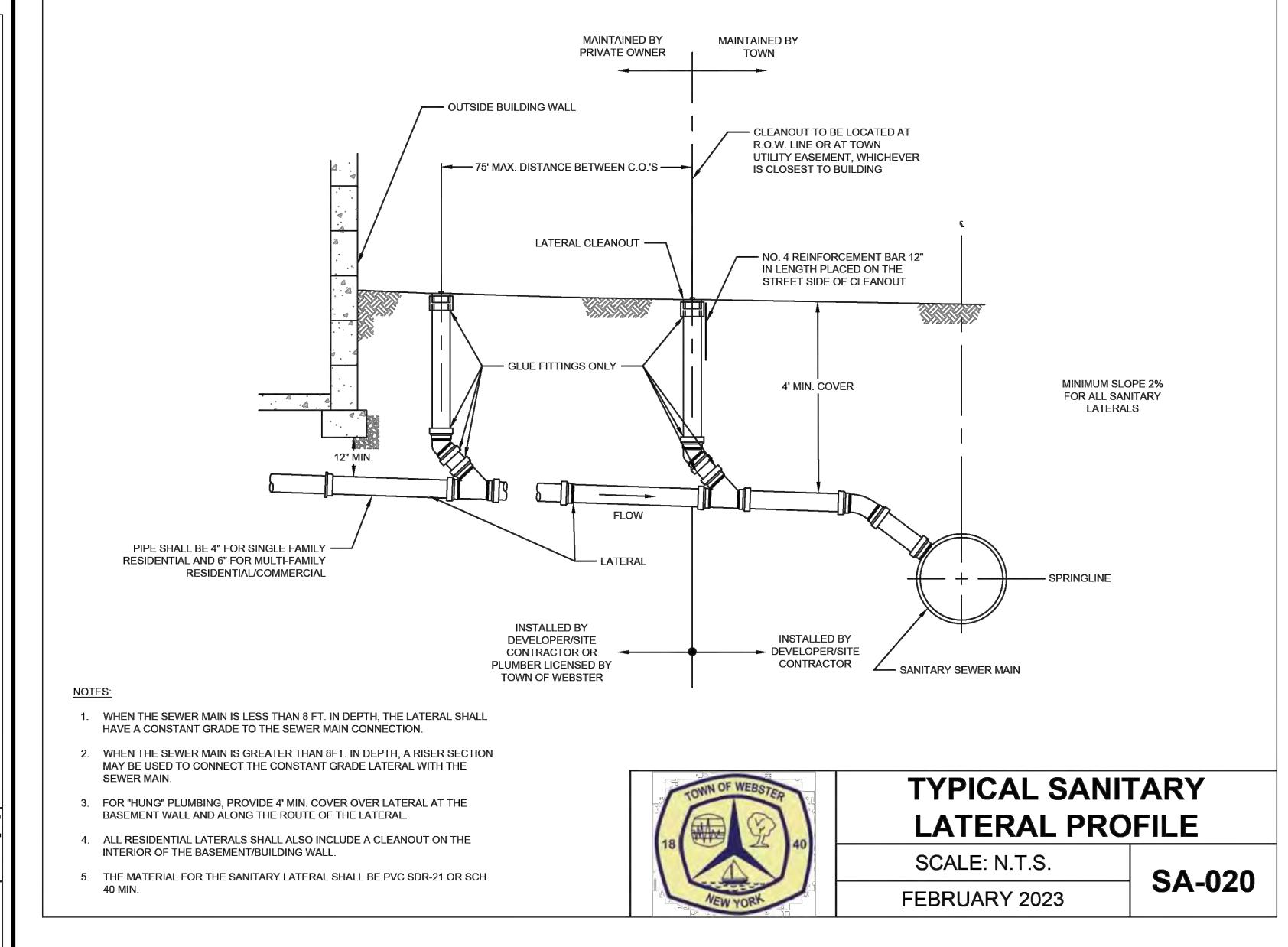
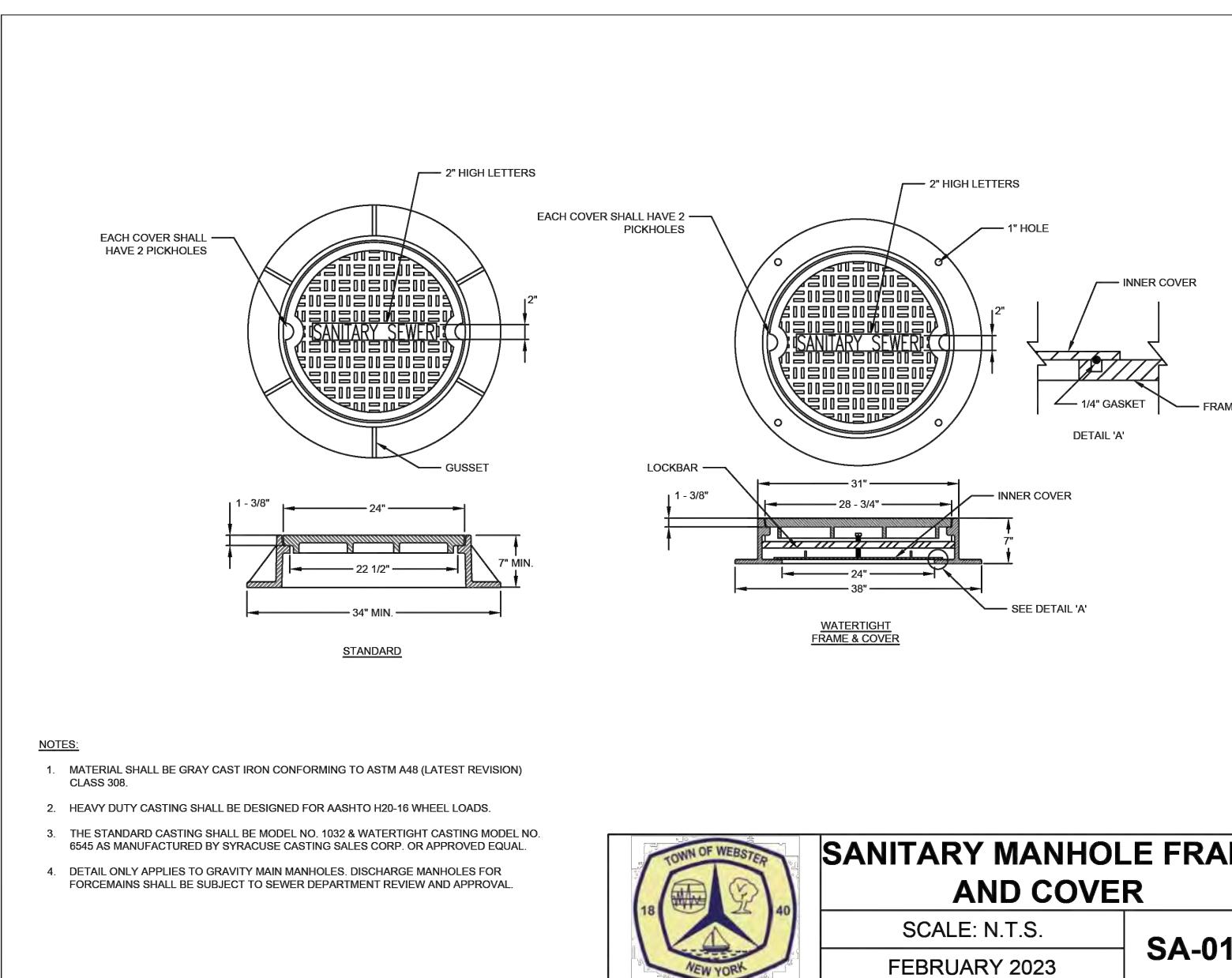
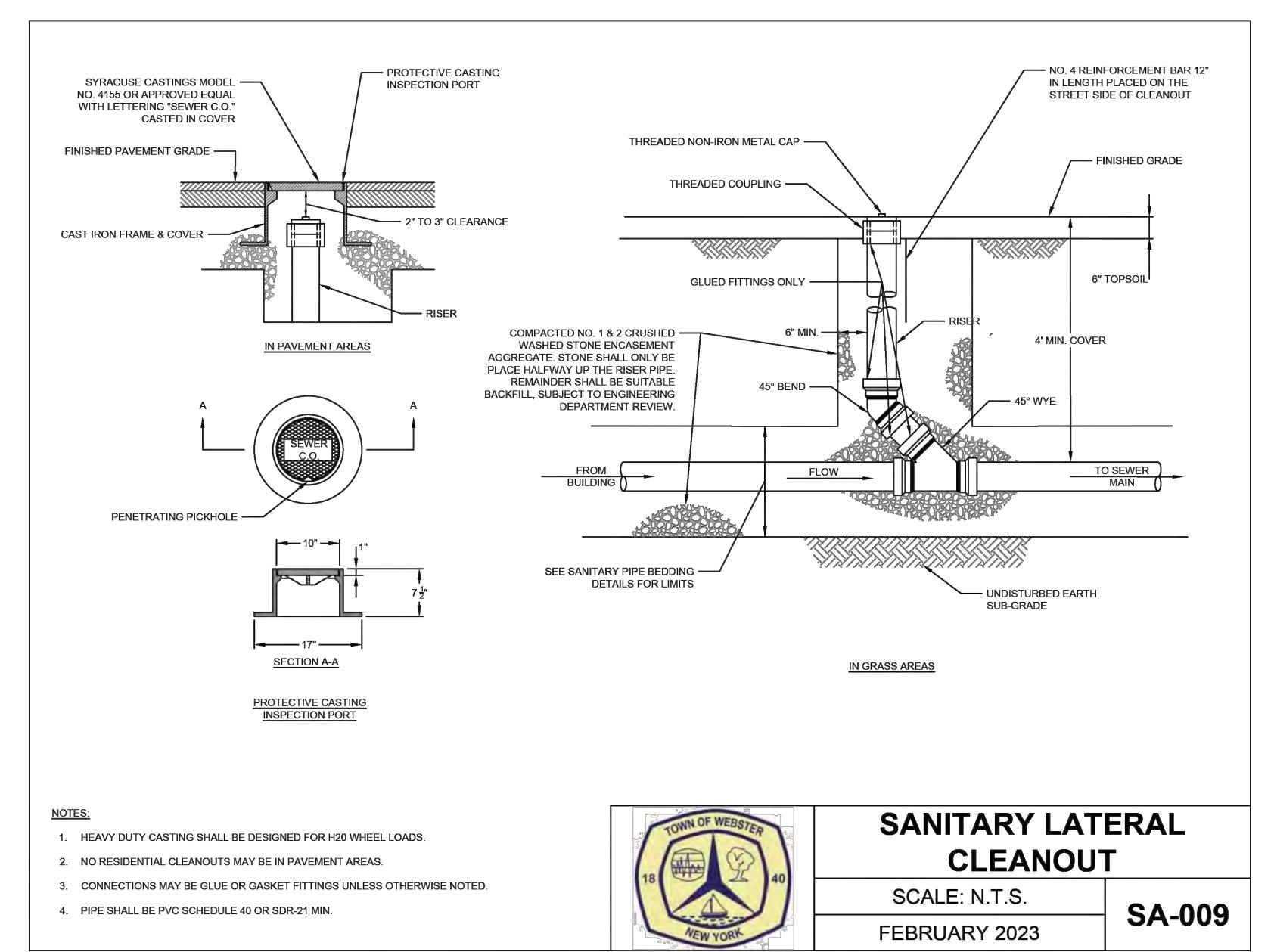
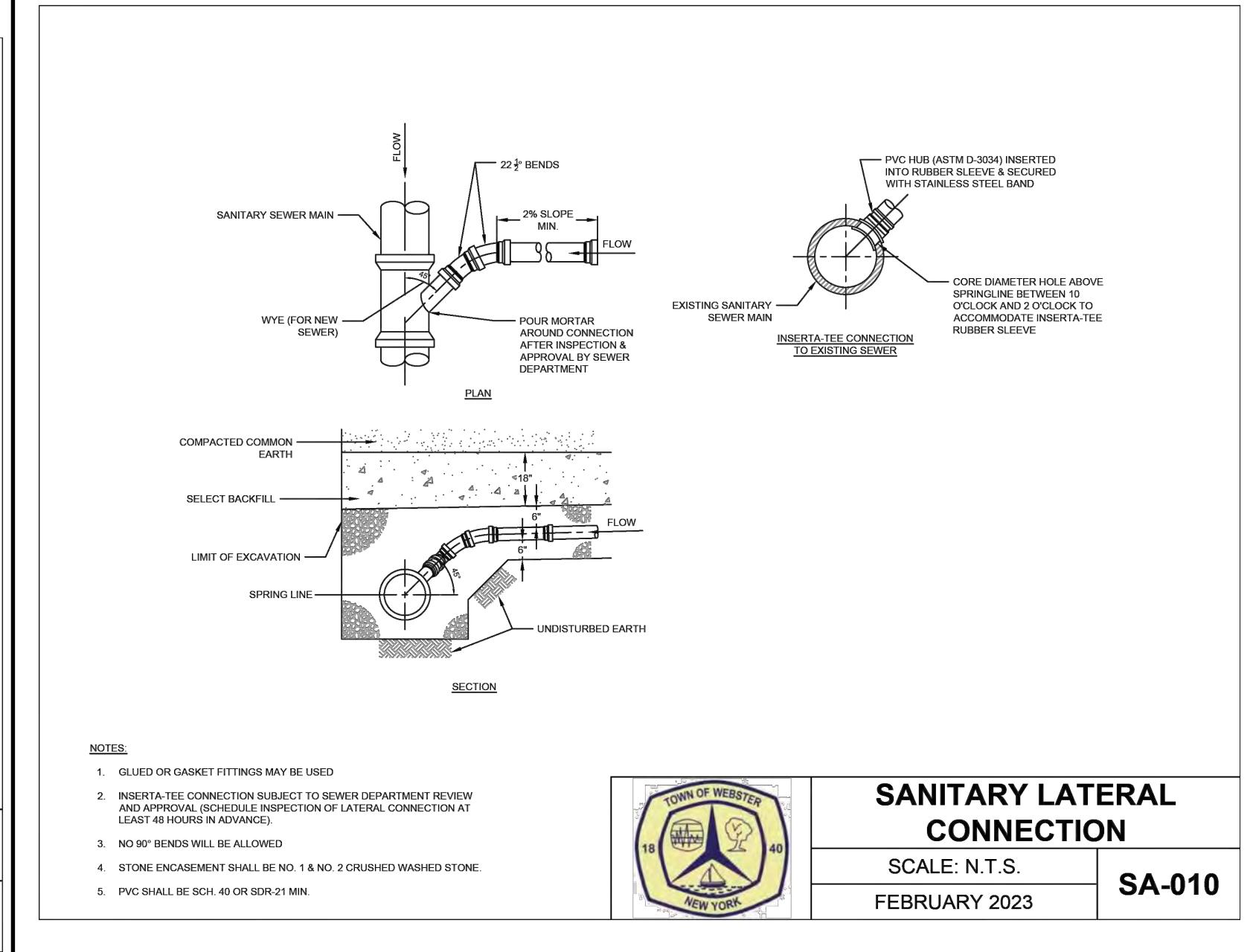
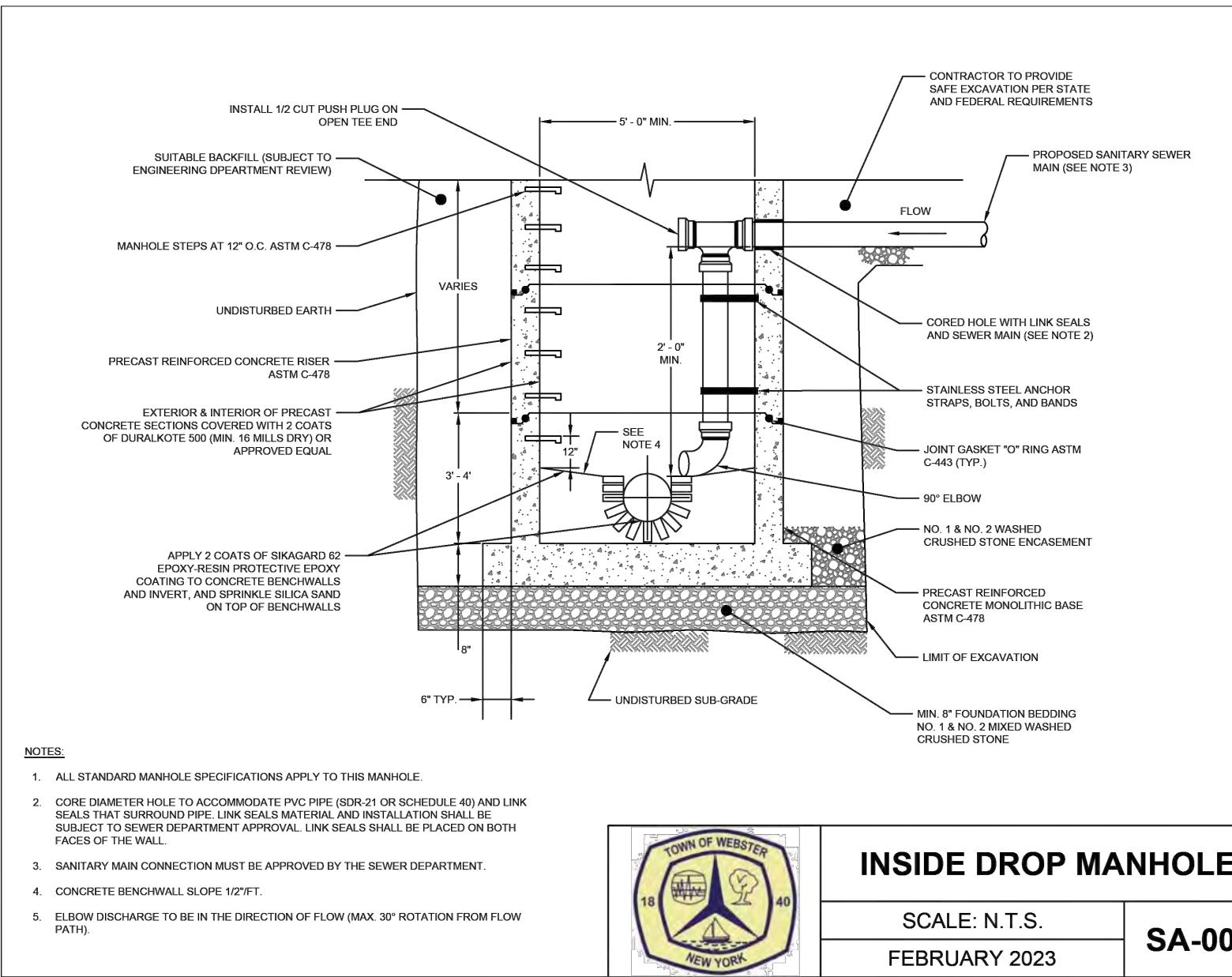
LBS./ACRE % BY PURITY % GERM.

PERENNIAL RYE GRASS 35 85 85
 RED FESCUE 30 97 80
 KENTUCKY BLUEGRASS 30 85 80

SEEDING RATE: 6.0 LBS PER 1,000 SQ. FT.
 MULCH: STRAW OR WOOD FIBER MULCH USED WITH HYDROSEEDING METHOD, AT TWO TONS PER ACRE WITH TACKIFIER
 STARTING FERTILIZER: 5-10-10 AT 20 LBS PER 1,000 SQ. FT.

NOT APPROVED	This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.
PROJECT	1048 SHOFCRAFT ROAD
LOCATION	MONROE COUNTY, NEW YORK STATE SHOFCRAFT ROAD, APARTMENTS LLC ONTARIO, NY 14519
CLIENT	
DRAWING TITLE	PROFILE AND NOTE SHEET

P:\2961\Drawings\Final\2961 Detail Base.dwg



NOT APPROVED

This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction

NOT APPROVED

This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction

APPROVALS

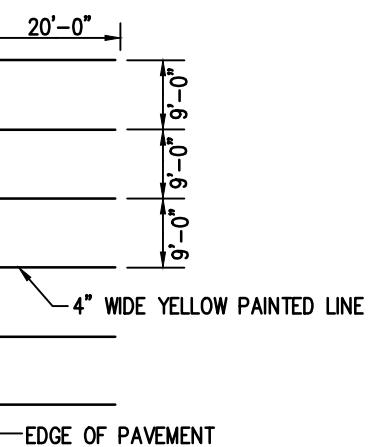
ENGINEER	DATE:
DIRECTOR OF COMMUNITY DEVELOPMENT	DATE:
ASSESSOR	DATE:
MARSHAL	DATE:
NING BOARD CHAIRMAN	DATE:
TER SEWER DISTRICT	DATE:
WAY SUPERINTENDENT	DATE:

BY	DATE
REVISIONS	

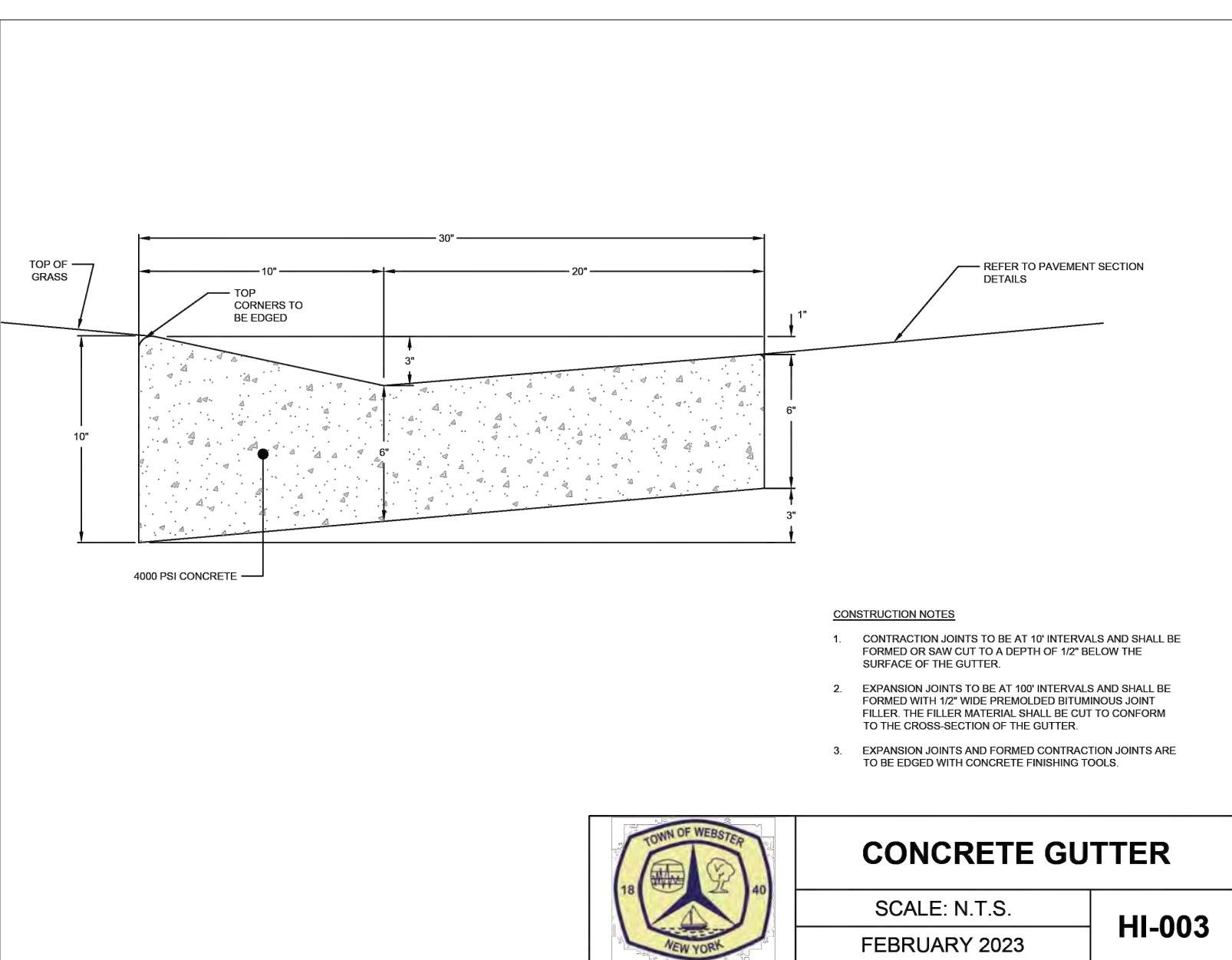


1048 SHOFCRAFT ROAD	PRELIMINARY/FINAL
TOWN OF WEBSTER, MONROE COUNTY, NEW YORK STATE	
SHOFCRAFT ROAD APARTMENTS LLC	
1560 RIDGE ROAD	
ONTARIO, NY 14519	
NOT APPROVED	
This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.	
APPROVALS	
BY: TOWN ENGINEER	DATE:
BY: TOWN DIRECTOR OF COMMUNITY DEVELOPMENT	DATE:
BY: TOWN ASSESSOR	DATE:
BY: FIRE MARSHAL	DATE:
BY: PLANNING BOARD CHAIRMAN	DATE:
BY: WEBSTER SEWER DISTRICT	DATE:
BY: HIGHWAY SUPERINTENDENT	DATE:
PROJECT	DATE:
LOCATION	DATE:
CLIENT	DATE:
DRAWING TITLE	DATE:

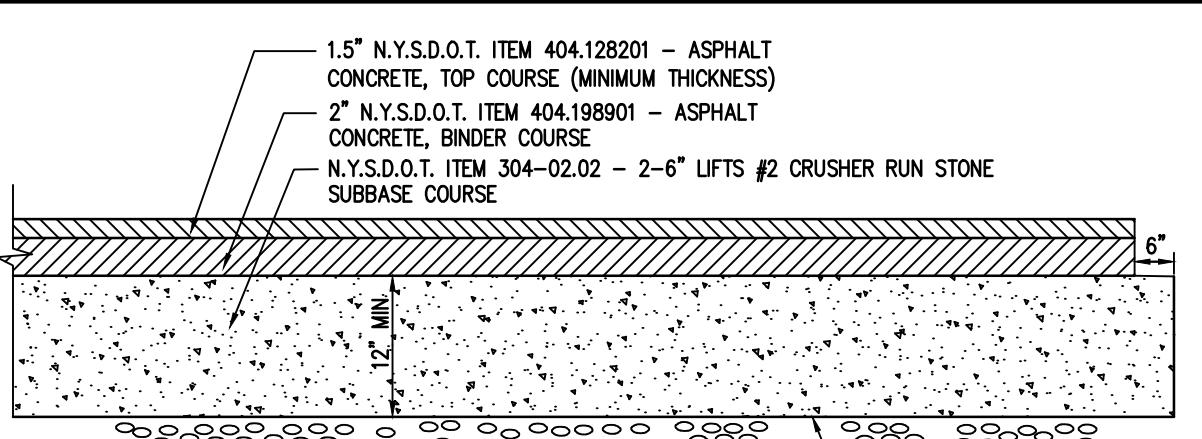
PROJECT MANAGER	L SWEDROCK
PROJECT ENGINEER	M SERENI
DRAWN BY	A D'ANGELO
SCALE	DATE ISSUED
N.T.S.	MARCH 11, 2025
PROJECT NO.	2961
DRAWING NO.	



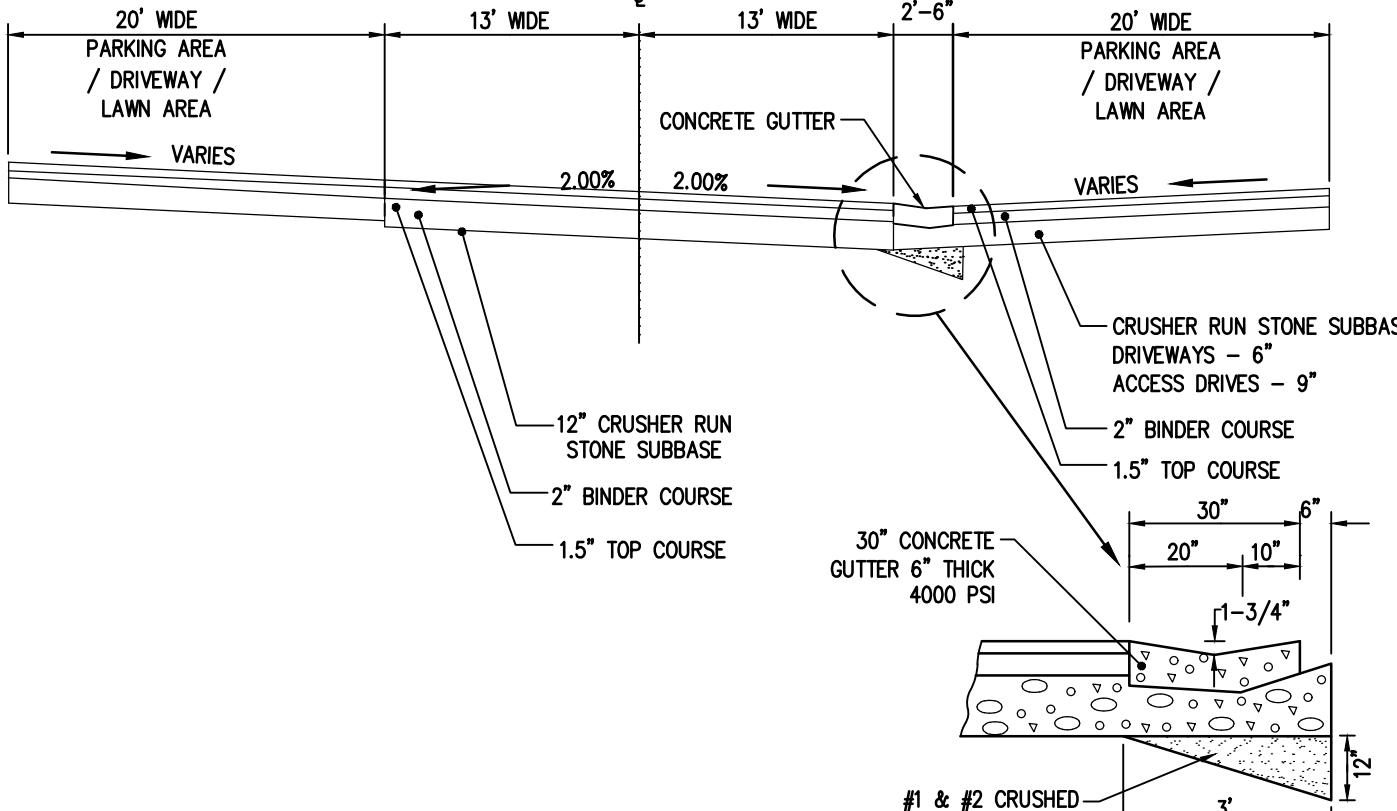
PARKING STRIPING DETAIL (9'x20') N.T.S.



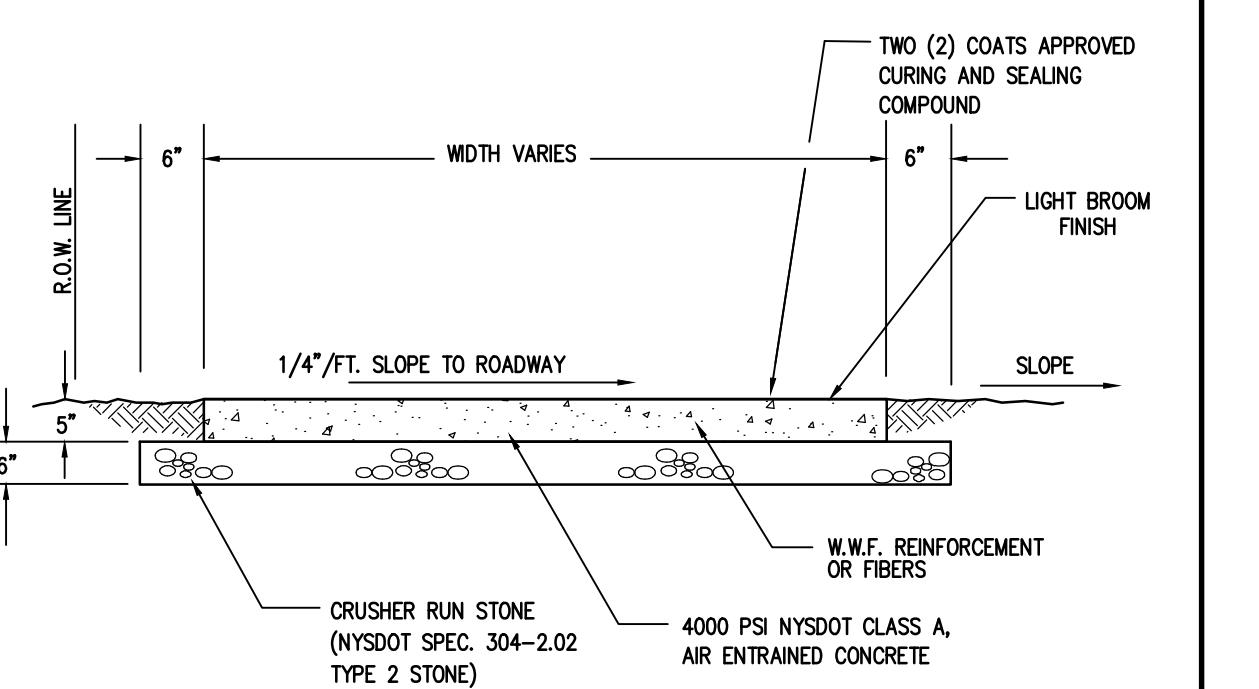
CONCRETE GUTTER
SCALE: N.T.S. HI-003
FEBRUARY 2023



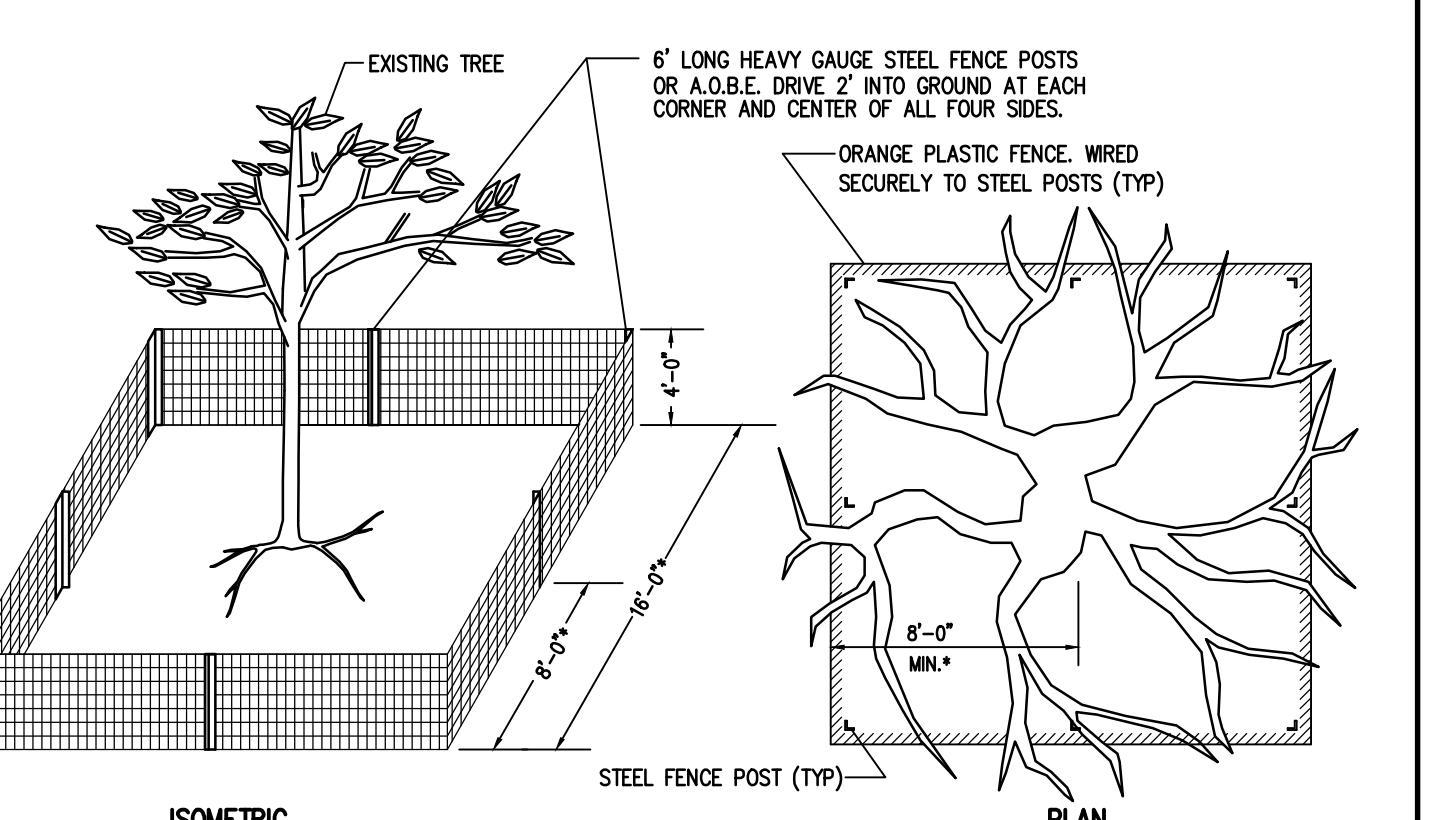
TYPICAL PAVEMENT SECTION
N.T.S.



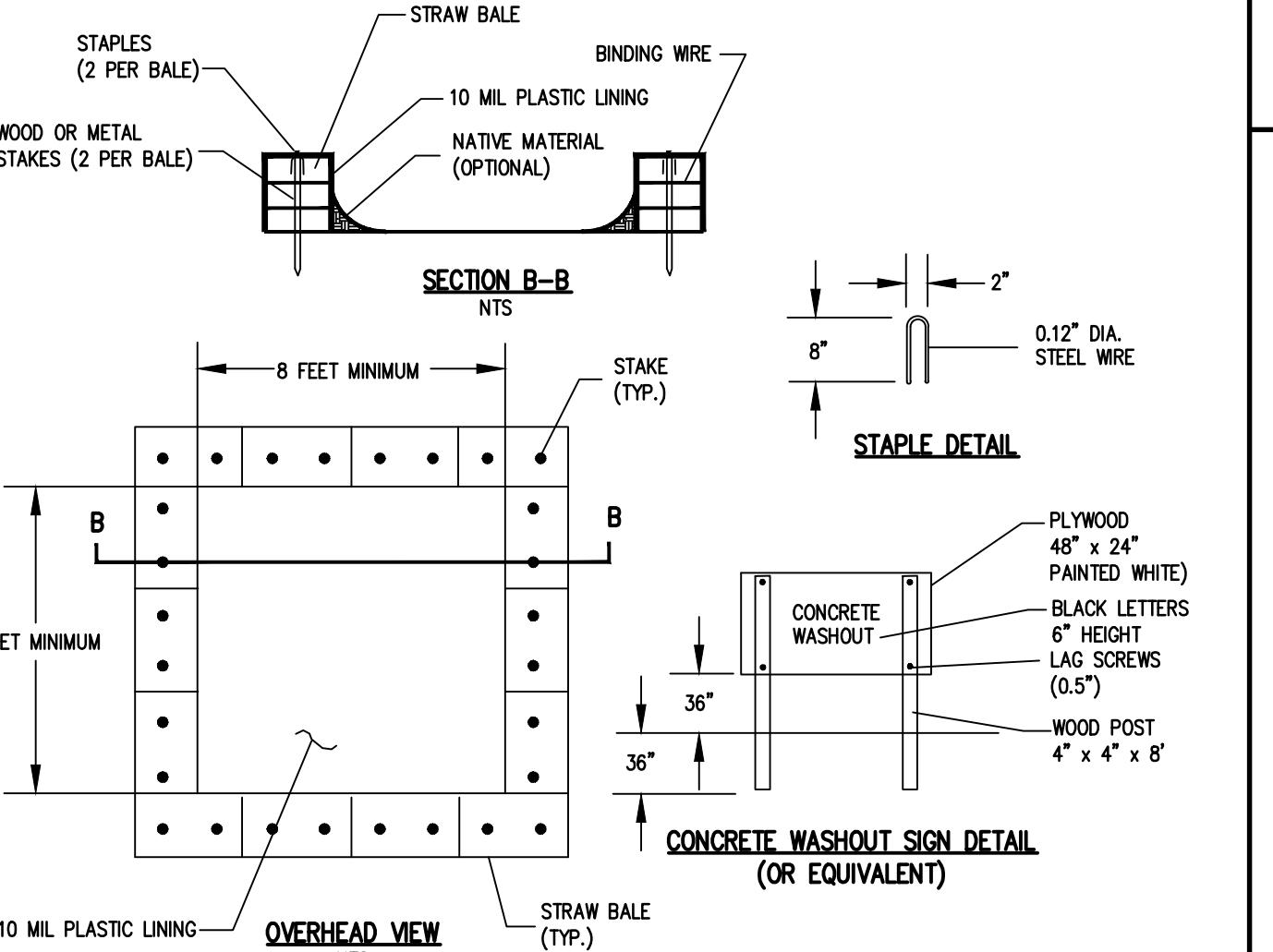
TYPICAL PAVEMENT CROSS SECTION
N.T.S.



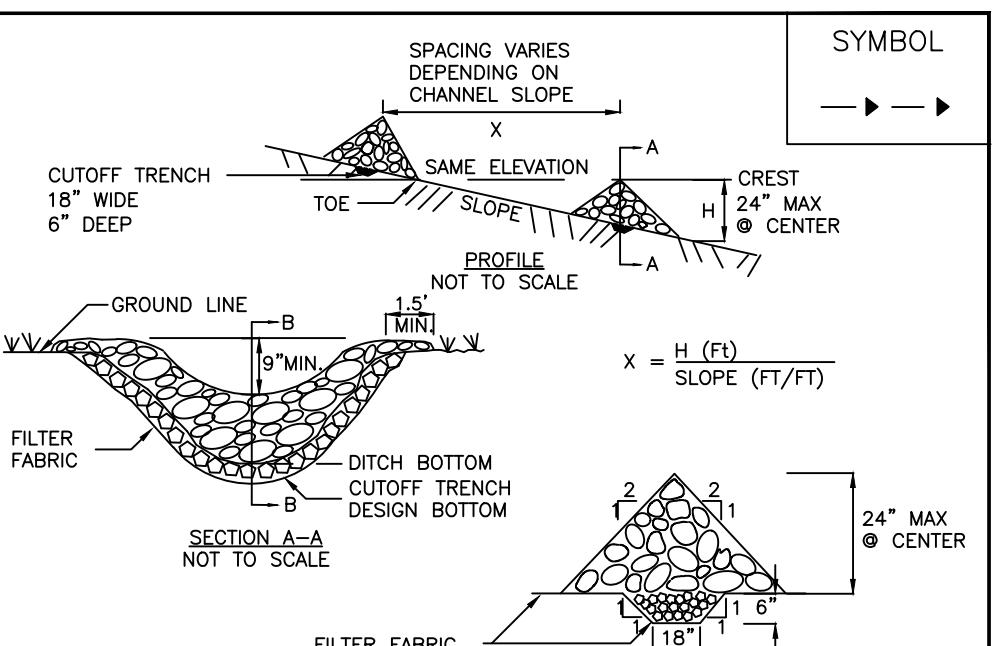
TYPICAL CONCRETE SIDEWALK DETAIL N.T.S.



TREE PROTECTION BARRIER DETAIL
N.T.S.



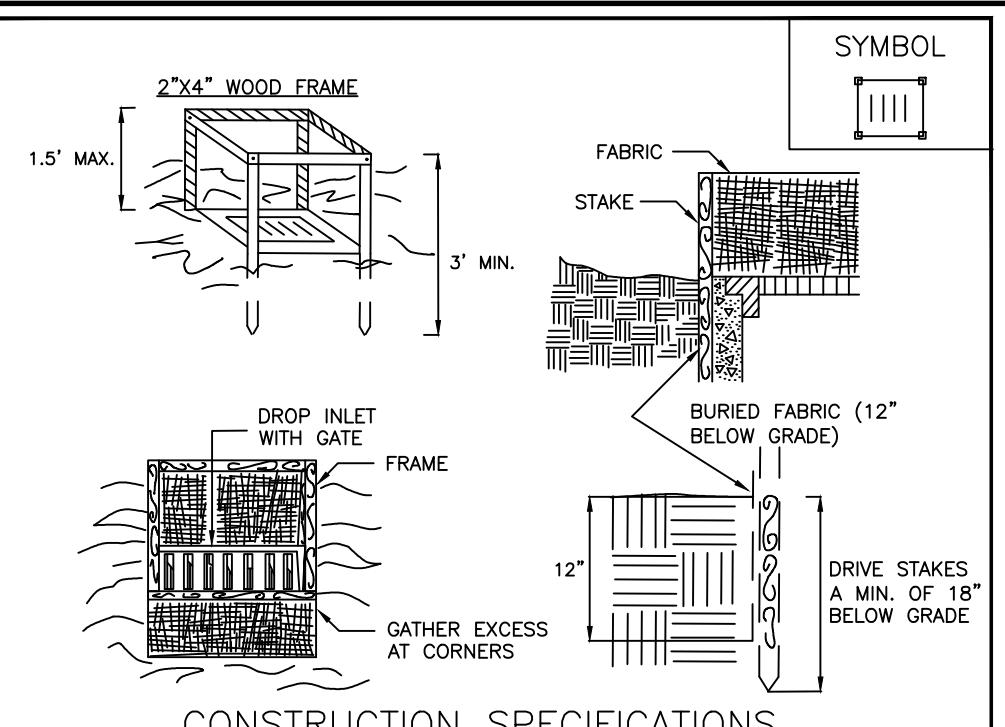
CONCRETE WASHOUT DETAIL
N.T.S.



CONSTRUCTION SPECIFICATIONS

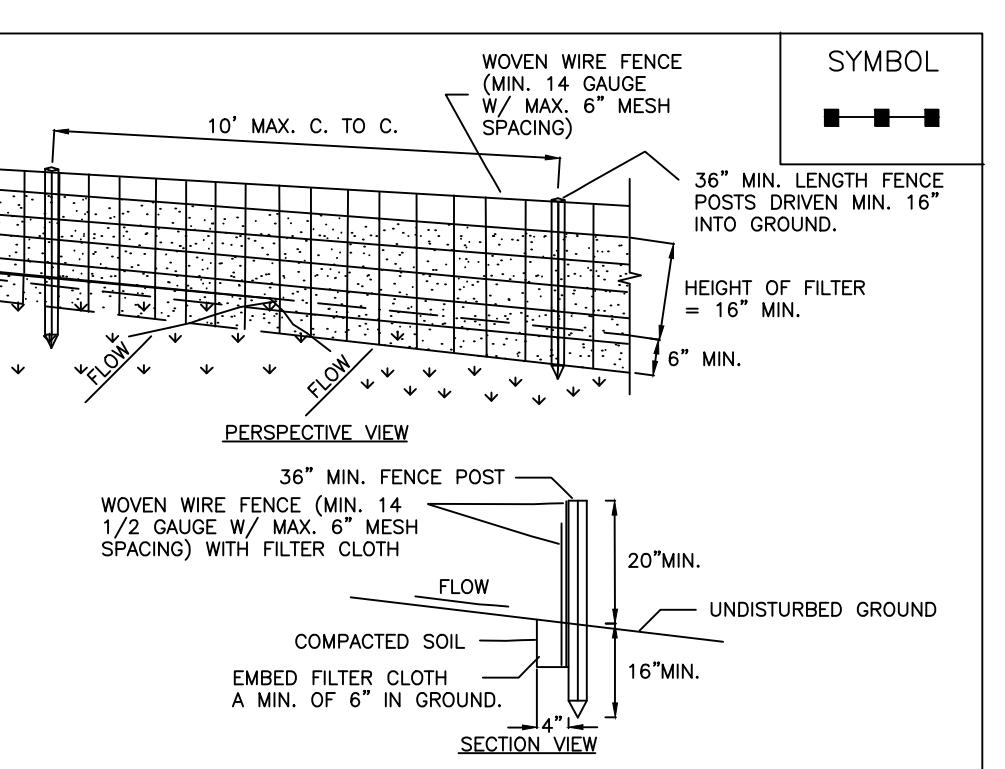
ADAPTED FROM DETAILS PROVIDED BY: USDA - NRCS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

STONE CHECK DAM



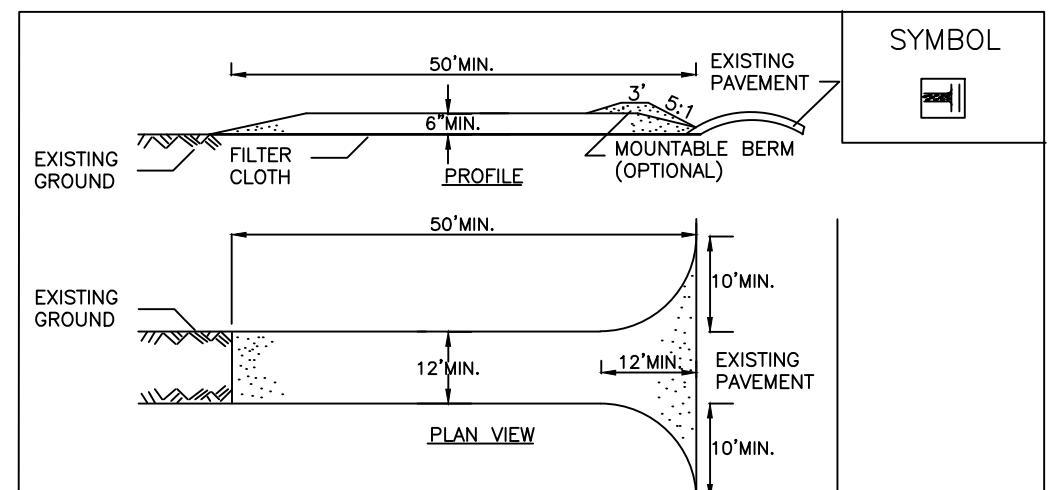
ADAPTED FROM DETAILS PROVIDED BY: USDA - NRCS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

FABRIC DROP INLET PROTECTION



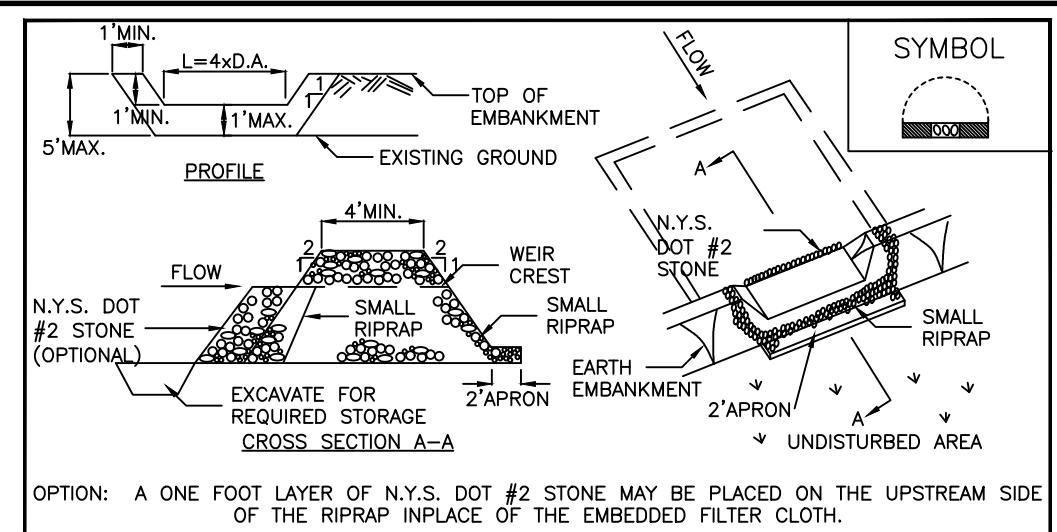
ADAPTED FROM DETAILS PROVIDED BY: USDA - NRCS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

SILT FENCE



ADAPTED FROM DETAILS PROVIDED BY: USDA - NRCS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

STABILIZED CONSTRUCTION ACCESS



ADAPTED FROM DETAILS PROVIDED BY: USDA - NRCS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

STONE OUTLET SEDIMENT TRAP ST-II