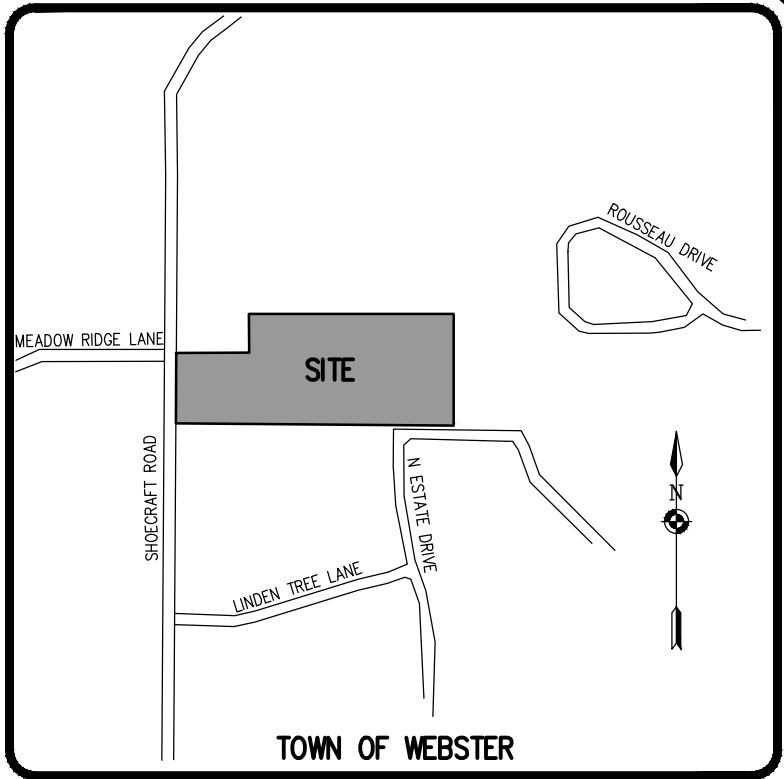
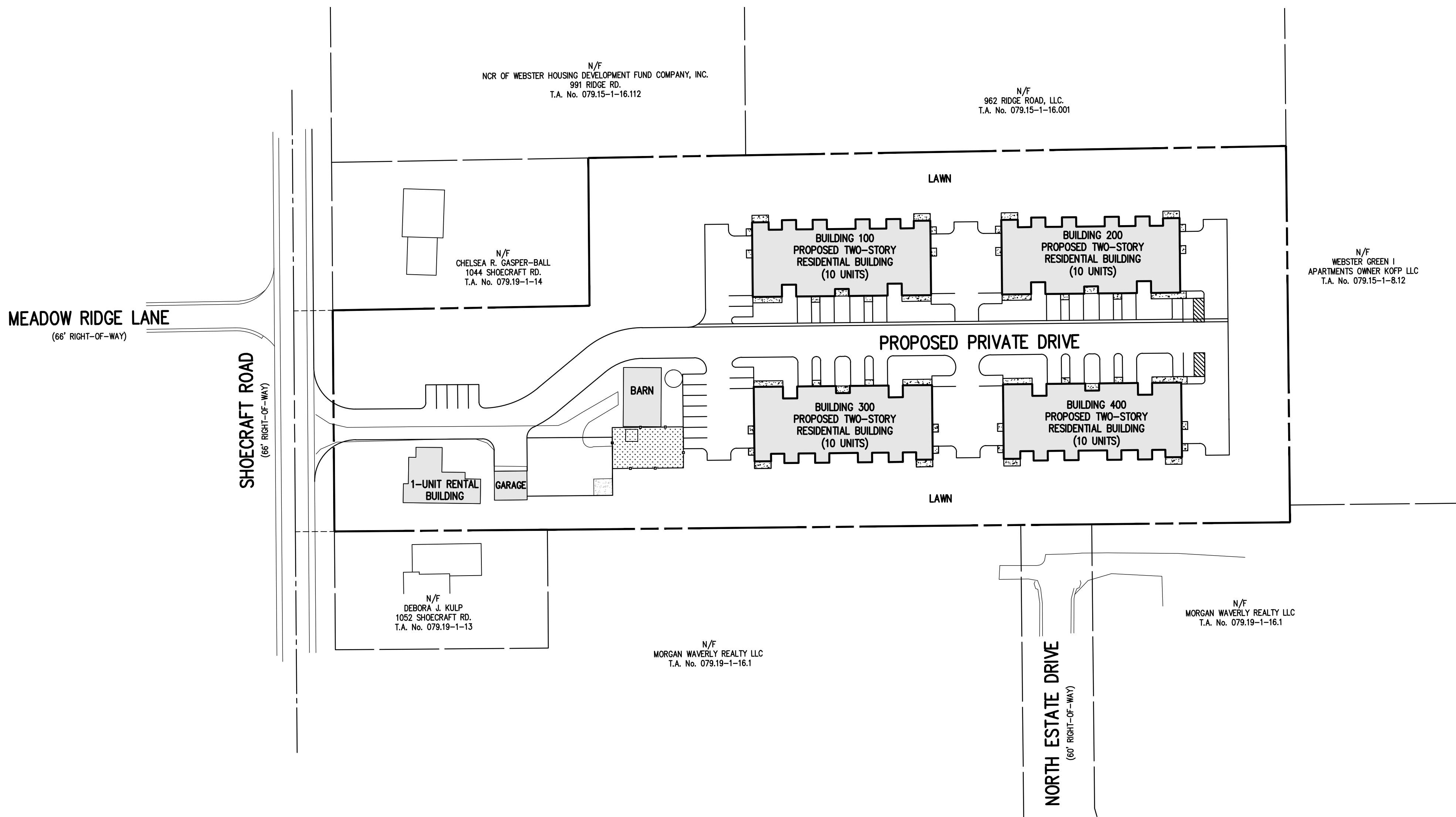


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LOCATION MAP  
NOT TO SCALE

# 1048 SHOECRAFT ROAD

## PRELIMINARY/FINAL SITE PLANS

TOWN OF WEBSTER, MONROE COUNTY, NEW YORK STATE

PREPARED FOR:  
SHOECRAFT ROAD APARTMENTS LLC

1260 RIDGE ROAD  
ONTARIO, NY 14519

## PRELIMINARY/FINAL SITE PLANS

### 1048 SHOECRAFT ROAD

2961-01	COVER SHEET
2961-02	SITE PLAN
2961-03	UTILITY PLAN
2961-04	GRADING PLAN
2961-05	CONSTRUCTION EROSION CONTROL PLAN
2961-06	LANDSCAPE PLAN
2961-07	LIGHTING PLAN
2961-08	PROFILE AND NOTE SHEET
2961-09	DETAIL SHEET (SHEET 1 OF 4)
2961-10	DETAIL SHEET (SHEET 2 OF 4)
2961-11	DETAIL SHEET (SHEET 3 OF 4)
2961-12	DETAIL SHEET (SHEET 4 OF 4)

**BME** ASSOCIATES  
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

SCALE: 1"=50'

DRAWING NUMBER: 2961-01  
DATED: MARCH 11, 2025

10 LIFT BRIDGE LANE EAST  
FAIRPORT, NEW YORK 14450  
WWW.BMEPC.COM  
585-377-7360

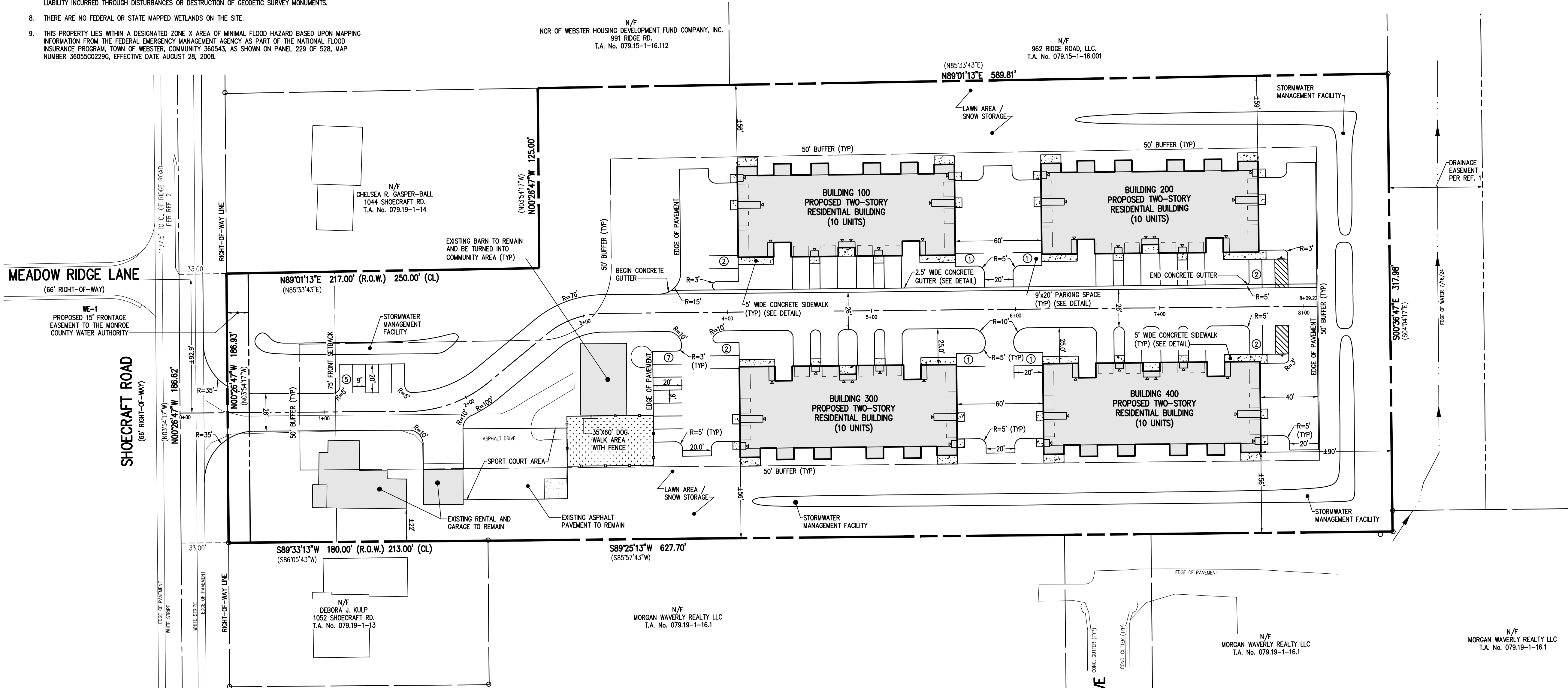
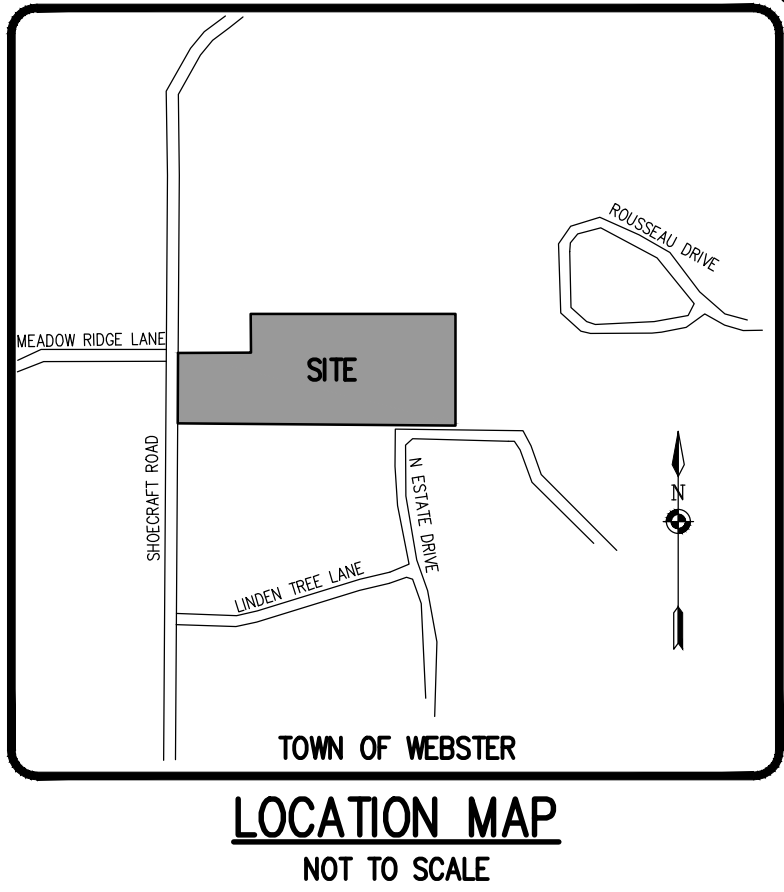
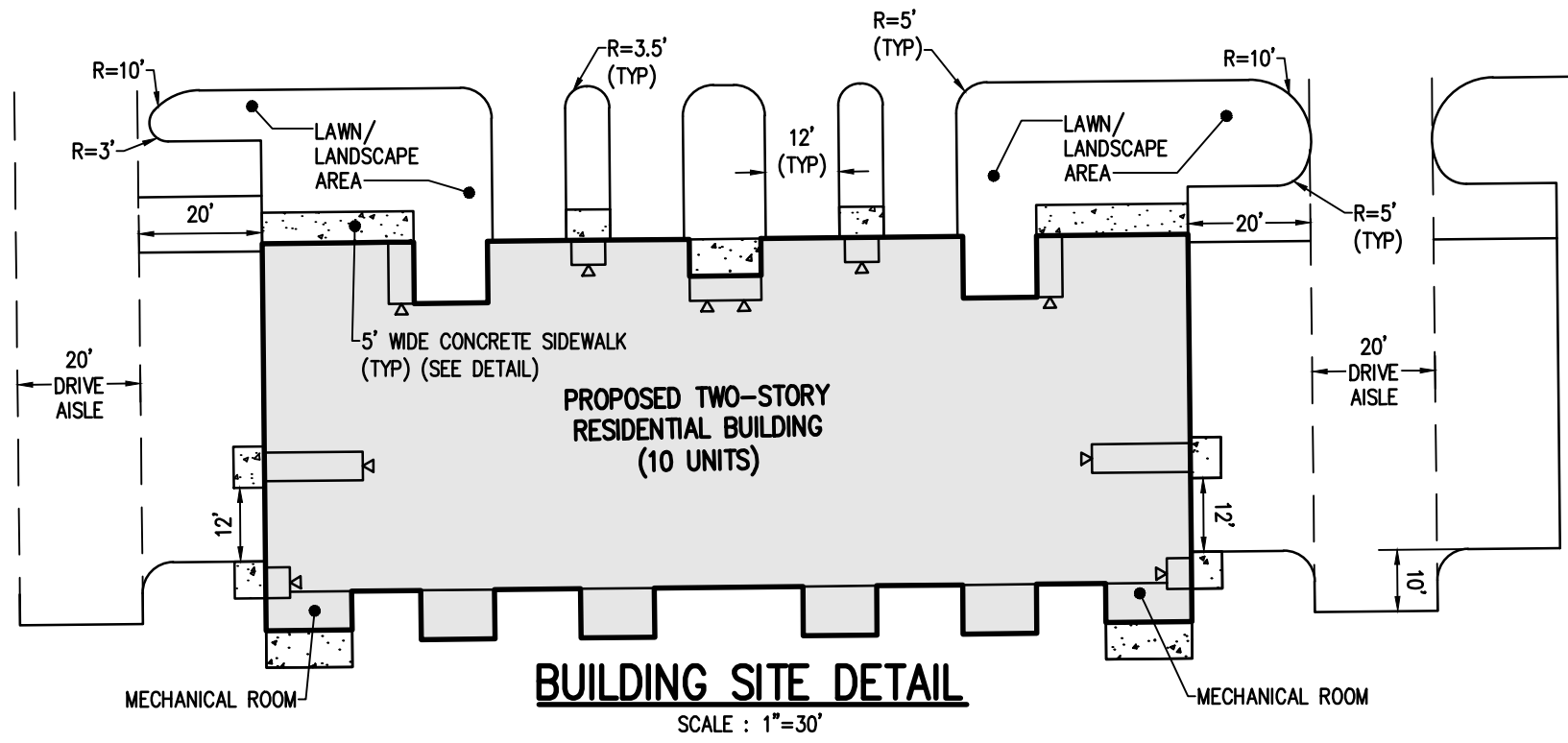
SITE NOTES:

- EXISTING ZONING: (MHR) MEDIUM-HIGH RESIDENTIAL DISTRICT
- TOTAL PROPERTY AREA: ±5.22 ACRES (TO ROW)
- PROPOSED USE: MULTI-FAMILY RESIDENTIAL (APARTMENT DEVELOPMENT)
- APPLICABLE DEVELOPMENT STANDARDS PROPOSED ARE AS FOLLOWS:

	REQUIRED FOR MHR (MULTI-FAMILY ONLY)	PROPOSED
MINIMUM LOT AREA:	5 ACRES	±5.22 ACRES
MAXIMUM LOT IMPERVIOUS AREA:	75%	±42%
MAXIMUM BUILDING HEIGHT:	3 STORY	2 STORY
MAXIMUM BUILDING LENGTH:	165'	151'
SETBACKS:		
FRONT	75'	>75' (±58" FOR EXISTING, NON-CONFORMING)
BUFFER	50'	50' (±22" FOR EXISTING, NON-CONFORMING)
MAXIMUM DENSITY:	8 UNITS PER ACRE (41 UNITS)	±7.85 UNITS PER ACRE (41 UNITS)
PARKING REQUIREMENTS:	82 SPACES (2 PER UNIT)	82 SPACES (2 PER UNIT) +24 VISITOR SPACES TOTAL: 106 SPACES
PARKING STALL:	9'x20'	9'x20'
- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF WEBSTER AND THE APPROPRIATE MONROE COUNTY AND NEW YORK STATE AGENCIES, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS, FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY SURVEY OFFICE.
- THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCES OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS.
- THERE ARE NO FEDERAL OR STATE MAPPED WETLANDS ON THE SITE.
- THIS PROPERTY LIES WITHIN A DESIGNATED ZONE X AREA OF MINIMAL FLOOD HAZARD BASED UPON MAPPING INFORMATION FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY AS PART OF THE NATIONAL FLOOD INSURANCE PROGRAM, TOWN OF WEBSTER, COMMUNITY 360543, AS SHOWN ON PANEL 229 OF 528, MAP NUMBER 360550229G, EFFECTIVE DATE AUGUST 28, 2008.

ADA NOTES:

- ALL IMPROVEMENTS ARE TO BE MADE PER THE MOST RECENT ADA STANDARDS FOR ACCESSIBLE DESIGN.
- ALL SIDEWALKS ON AN ACCESSIBLE ROUTE SHALL HAVE A MAXIMUM RUNNING SLOPE OF 5% (1:20) AND A MAXIMUM CROSS-SLOPE OF 2% (1:48).
- ALL LANDINGS ALONG AN ACCESSIBLE ROUTES SHALL HAVE A MAXIMUM SLOPE OF 2% (1:48) IN ALL DIRECTIONS.
- ALL CURB RAMPS SHALL HAVE A MAXIMUM RUNNING SLOPE OF NO GREATER THAN 8% (1:12).
- ALL CURB RAMP SIDE SLOPES SHALL HAVE A MAXIMUM SLOPE OF 10% (1:10).
- ANY RUNNING SLOPE GREATER THAN 5% (1:20) IS TO BE CONSIDERED A RAMP AND MUST COMPLY WITH THE ADA STANDARD REQUIREMENTS FOR RAMPS.
- PARKING (SEE DETAIL):
  - ALL ACCESSIBLE PARKING SPACES TO BE A MINIMUM OF 9' X 18'
  - ALL ACCESS AISLES TO BE A MINIMUM OF 9' X 18'
  - MAXIMUM SLOPE IN ALL DIRECTIONS TO BE NO GREATER THAN 2% (1:48) FOR BOTH PARKING STALL AND STRIPED AISLE.
  - ONE IN SIX ACCESSIBLE PARKING SPACES SHALL MEET THE VAN ACCESSIBLE STANDARDS PER THE ADA GUIDELINES
- PARKING SIGNAGE: ALL ACCESSIBLE PARKING SPACES AND ACCESS AISLES TO BE PROVIDED SIGNAGE PER THE MOST RECENT ADA STANDARD REQUIREMENTS. (SEE SIGN DETAIL).
- ALL OTHER IMPROVEMENTS TO BE IN CONFORMANCE WITH THE MOST RECENT ADA STANDARDS FOR DESIGN.



REFERENCES:

- A PLAN ENTITLED "SUBDIVISION PLAN OF R.T. GOLF, INC.," AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 298 OF MAPS, PAGE 39
- A PLAN ENTITLED "AN INSTRUMENT SURVEY OF THE ENGEMIA M. SMITH ESTATE," BY R. RONALD KREILING, DATED JANUARY 8, 1991 HAVING DWG. No. 90-3058.
- AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY.

PROPOSED PRIVATE ACCESS / SHOECRAFT ROAD INTERSECTION

POSTED SPEED LIMIT SHOECRAFT ROAD: 35 mph

REQUIRED DISTANCES:  
(DESIGN SPEED = 40 mph)

REQUIRED INTERSECTION SIGHT DISTANCE:	445'
REQUIRED STOPPING SIGHT DISTANCE:	305'

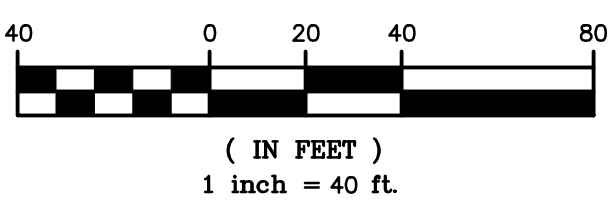
MEASURED DISTANCES SHOECRAFT ROAD: (NORTHBOUND) (SOUTHBOUND)

SIGHT DISTANCE (● PROPOSED ENTRANCE):	>500'	>500'
STOPPING DISTANCE (● PROPOSED ENTRANCE):	>500'	>500'

LEGEND

BOUNDARY LINE	---
CENTERLINE	---
SETBACK LINE	---
PROPERTY MARKER FOUND	○
EXISTING EASEMENT LINE	---
PROPOSED EASEMENT LINE	---

GRAPHIC SCALE



NOT APPROVED

This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

APPROVALS

BY: COMMISSIONER OF PUBLIC WORKS	DATE:
BY: TOWN ASSESSOR	DATE:
BY: FIRE MARSHAL	DATE:
BY: PLANNING BOARD CHAIRMAN	DATE:
BY: HIGHWAY SUPERINTENDENT	DATE:

BME ASSOCIATES  
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS



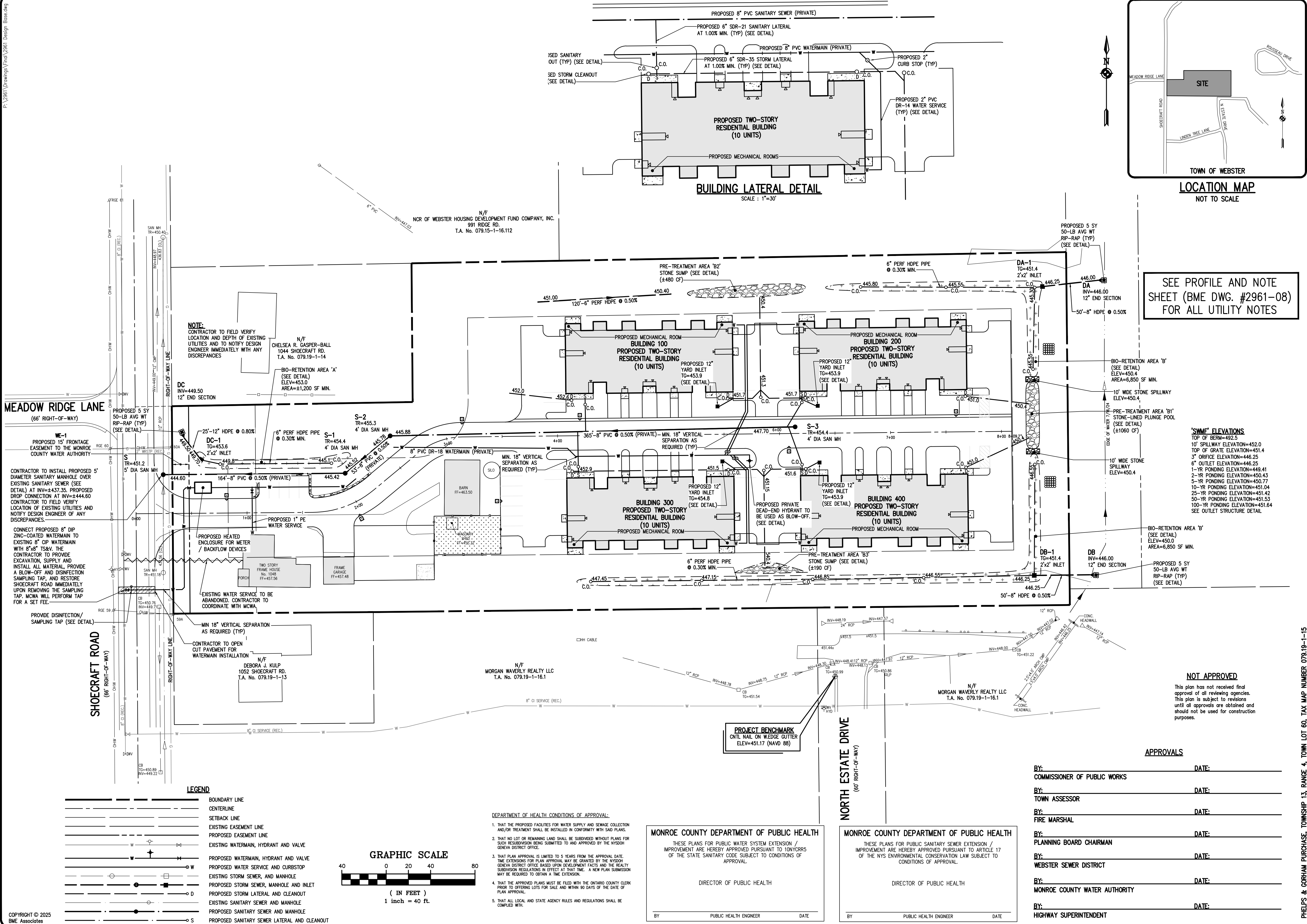
1048 SHOECRAFT ROAD  
PRELIMINARY/FINAL  
TOWN OF WEBSTER, MONROE COUNTY, NEW YORK STATE  
SHOECRAFT ROAD APARTMENTS LLC  
1048 SHOECRAFT ROAD  
ONTARIO, NY 14519

SITE PLAN

PROJECT	LOCATION	CLIENT
---------	----------	--------

PROJECT MANAGER	L. SWEDROCK
PROJECT ENGINEER	M. SERENI
DRAWN BY	A. D'ANGELO
SCALE	DATE ISSUED
1"=40'	MARCH 11, 2025
PROJECT NO.	2961

DRAWING NO.	02
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**2961**

**03**

**UTILITY PLAN**

**1048 SHOECRAFT ROAD**  
PRELIMINARY/FINAL  
TOWN OF WEBSTER, MONROE COUNTY, NEW YORK STATE  
SHOECRAFT ROAD APARTMENTS LLC  
1048 SHOECRAFT ROAD  
WEBSTER, NY 14599

**PROJECT**  
LOCATION  
CLIENT

**PROJECT MANAGER**  
L. SWEDELOCK  
PROJECT ENGINEER  
M. SERENI  
DRAWN BY  
A. D'ANGELO  
SCALE  
1"=40'  
DATE ISSUED  
MARCH 11, 2025  
PROJECT NO.

**DRAWING NO.**  
2961

**DATE**  
BY

**REVISIONS**

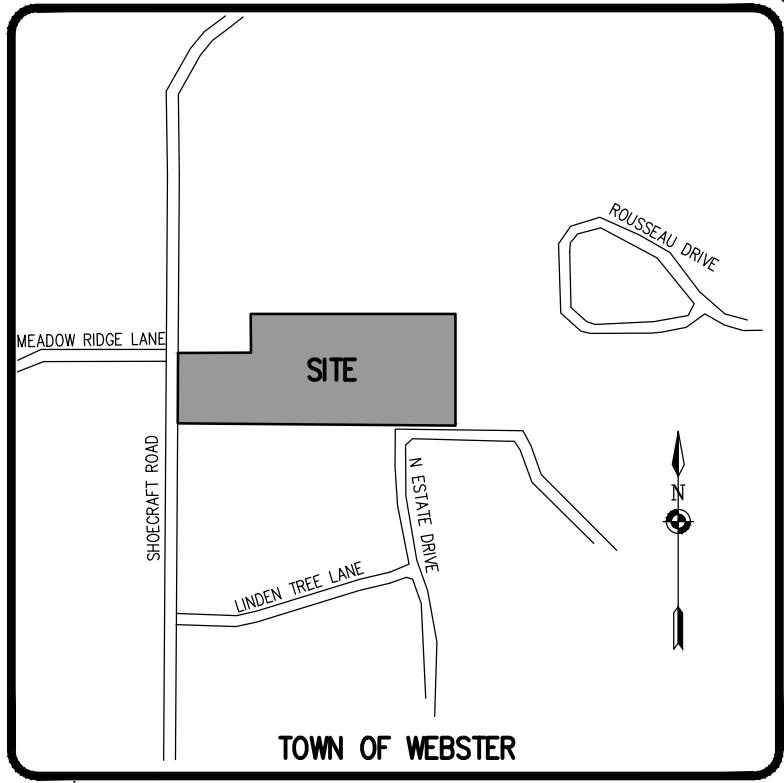
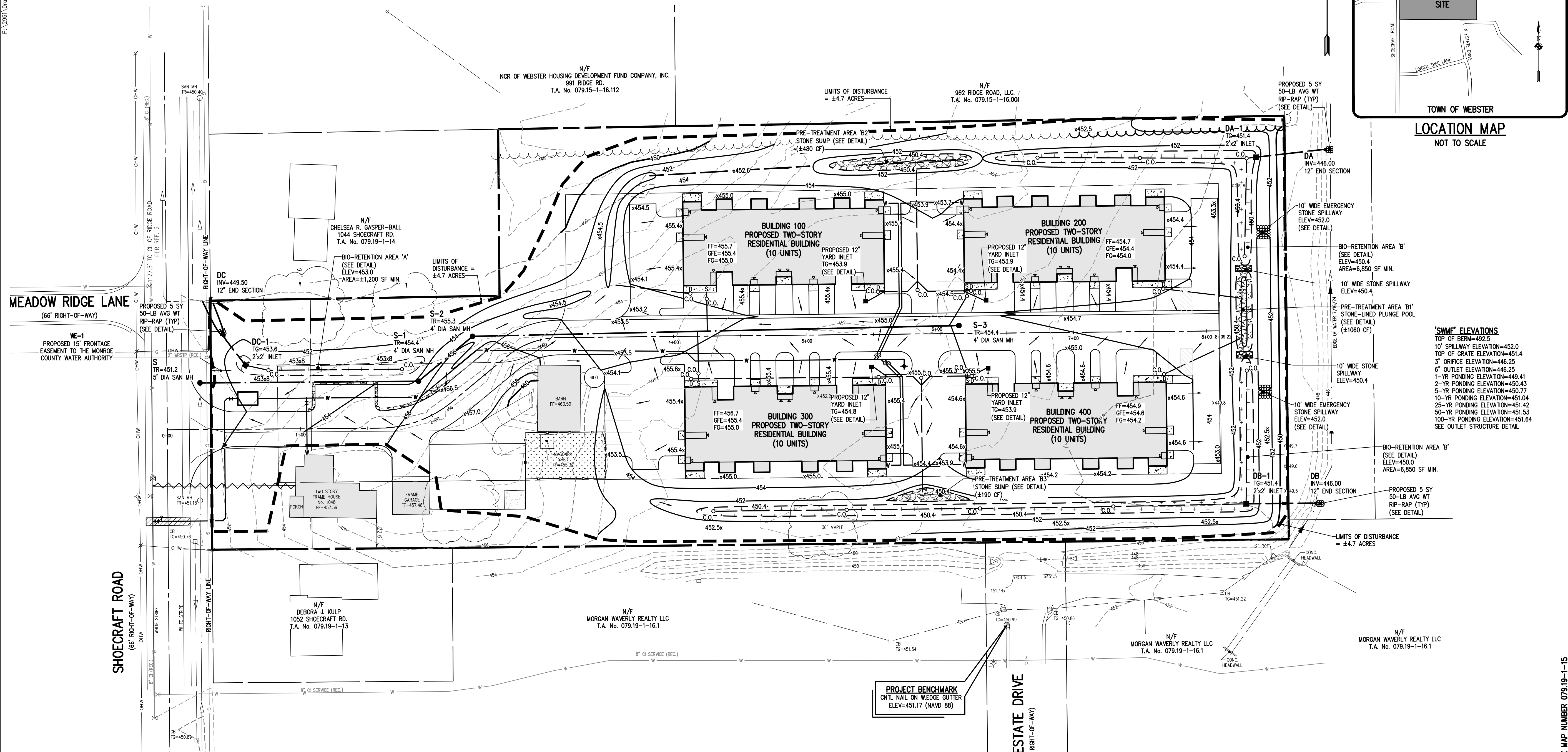
NO.	DESCRIPTION	DATE	BY
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**BME ASSOCIATES**  
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS  
WWW.BMEPC.COM  
10 LIFEBRIDGE LANE EAST  
FAIRPORT, NEW YORK 14450  
565-377-7360

**STATE OF NEW YORK**  
JULIAN J. BROWN, JR.  
PROFESSIONAL ENGINEER

**Drawing Alteration**  
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:  
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way. If an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation 'Altered by' followed by his signature and the date of such alteration, and a specific description of the alteration."

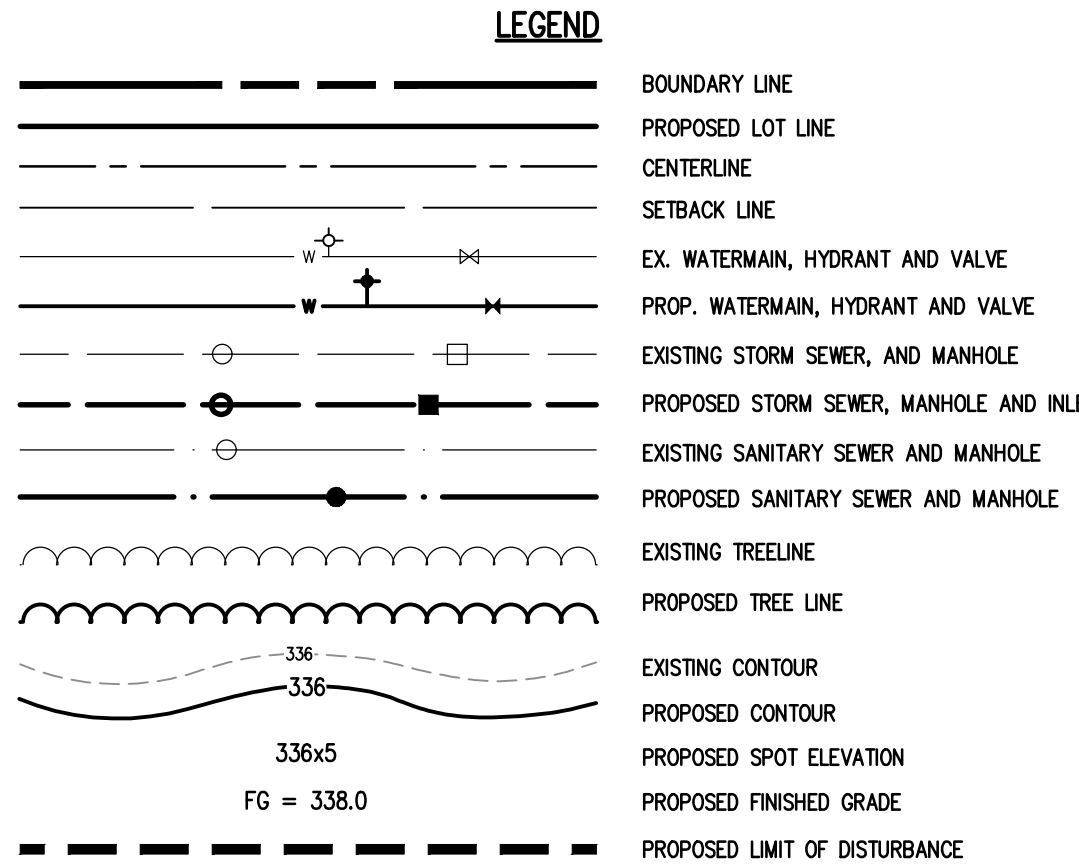




LOCATION MAP  
NOT TO SCALE

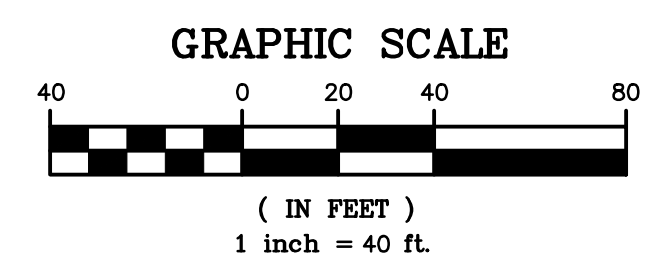
**'SWMF' ELEVATIONS**

TOP OF BERM=452.5
10' SPILLWAY ELEVATION=452.0
TOP OF GRATE ELEVATION=451.4
3" ORIFICE ELEVATION=446.25
6" OUTLET ELEVATION=446.25
1-YR PONDING ELEVATION=449.41
2-YR PONDING ELEVATION=450.43
5-YR PONDING ELEVATION=450.77
10-YR PONDING ELEVATION=451.04
25-YR PONDING ELEVATION=451.42
50-YR PONDING ELEVATION=451.53
100-YR PONDING ELEVATION=451.64
SEE OUTLET STRUCTURE DETAIL



- GRADING NOTES:**
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  - THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCE OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS.
  - EXISTING UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM FIELD LOCATIONS AND/OR UTILITY COMPANY RECORD PLANS. A MINIMUM OF 48 HOURS PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL CALL THE UPO HOTLINE AT 1-800-962-7962 FOR STAKE-OUT OF EXISTING UTILITIES.
  - THE CONTRACTOR SHALL CONTROL DUST ONSITE AS DIRECTED BY THE TOWN OF WEBSTER.
  - THE OWNER AND THE CONTRACTOR SHALL HAVE COMPLETE KNOWLEDGE OF THE CURRENT BLASTING POLICY FOR THE TOWN OF WEBSTER, AND THEY WILL CONFORM TO THIS POLICY AT ALL TIMES.
  - HIGHWAY DRAINAGE ALONG ORCHARD ROAD TO BE MAINTAINED AS DIRECTED BY THE TOWN OF WEBSTER.
  - FILL MATERIAL PLACED IN THE PAVEMENT AND BUILDING AREA SHALL BE SELECT MATERIAL AND COMPACTED TO 95% MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D-1557) AND/OR PER THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL SUPPLY THE ENGINEER AND OWNER WITH COMPACTION TEST RESULTS PRIOR TO PLACING THE STONE SUBBASE.
  - CONTRACTOR SHALL INSTALL STONE SUBBASE AND THE ASPHALT CONCRETE BINDER COURSE. PRIOR TO PLACING THE BINDER COURSE, THE ROAD BASE SHALL BE REVIEWED BY THE ENGINEER AND THE TOWN OF WEBSTER.

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**APPROVALS**

BY: _____	DATE: _____
COMMISSIONER OF PUBLIC WORKS	
BY: _____	DATE: _____
HIGHWAY SUPERINTENDENT	
BY: _____	DATE: _____
PLANNING BOARD CHAIRMAN	

**1048 SHOECRAFT ROAD**  
PRELIMINARY/FINAL  
TOWN OF WEBSTER, MONROE COUNTY, NEW YORK STATE  
SHOECRAFT ROAD APARTMENTS LLC  
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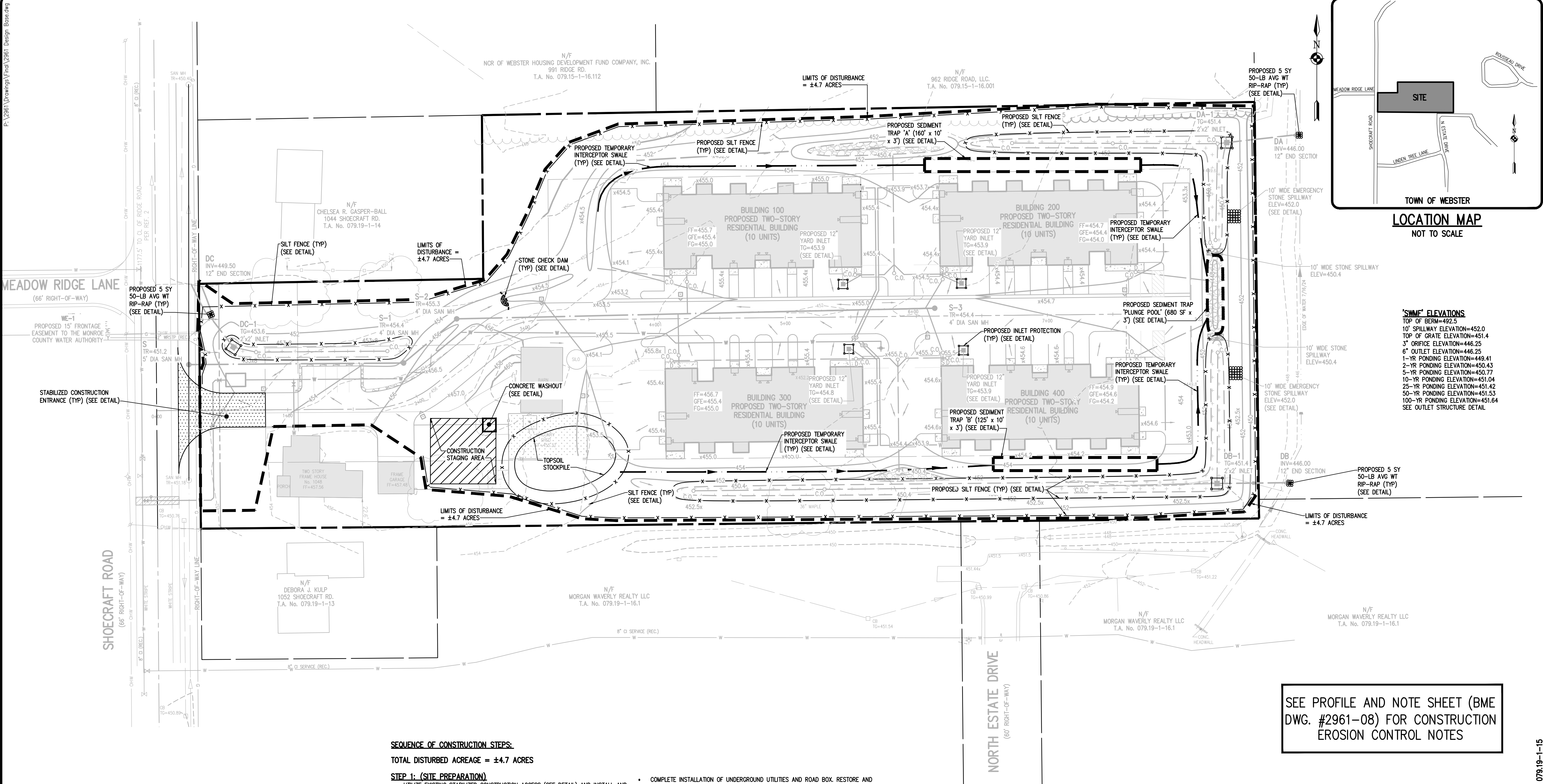


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WWW.BMEPCOM  
565-377-7360  
10 LIFEBRIDGE LANE EAST  
FAIRPORT, NEW YORK 14540

REVISIONS	DATE	BY
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50-YR PONDING ELEVATION	=451.53
100-YR PONDING ELEVATION	=451.64

SEE OUTLET STRUCTURE DETAIL

SEE PROFILE AND NOTE SHEET (BME DWG. #2961-08) FOR CONSTRUCTION EROSION CONTROL NOTES

**LEGEND**

	BOUNDARY LINE
	PROPOSED LOT LINE
	CENTERLINE
	SETBACK LINE
	EXISTING TREELINE
	PROPOSED TREELINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED FINISHED GRADE
	EXISTING STORM SEWER, AND MANHOLE
	PROPOSED STORM SEWER, MANHOLE AND INLET
	EXISTING SANITARY SEWER AND MANHOLE
	PROPOSED SANITARY SEWER AND MANHOLE
	EX. WATERMAIN, HYDRANT AND VALVE
	PROPOSED SILT FENCE
	PROPOSED CHECK DAM
	PROPOSED INLET PROTECTION
	TEMPORARY INTERCEPTOR SWALE
	PROPOSED LIMIT OF DISTURBANCE

**SEQUENCE OF CONSTRUCTION STEPS:**

TOTAL DISTURBED ACREAGE = ±4.7 ACRES

**STEP 1: (SITE PREPARATION)**

- UTILIZE EXISTING STABILIZED CONSTRUCTION ACCESS (SEE DETAIL) AND INSTALL AND MAINTAIN CONSTRUCTION STAGING AREA AS SHOWN ON PLANS.
- CLEAR AND GRUB AS REQUIRED FOR SILT FENCE INSTALLATION.
- INSTALL AND MAINTAIN PERIMETER SILT FENCE, COMPLETE CLEARING AND GRUBBING OPERATIONS AS NECESSARY OR PROVIDE BRUSH HOOGING OF LANDS TO MAINTAIN GROUND COVER.
- DIVERSION SWALES TO BE USED IN LIEU OF PERIMETER SILT FENCE, AND TO BE REMOVED WITH THE TOWN OF WEBSTER AT THE PRE-CONSTRUCTION MEETING.

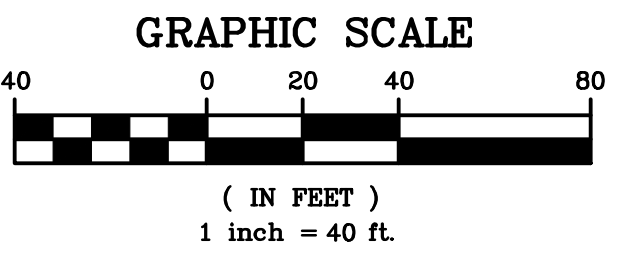
**STEP 2: (CONSTRUCTION ACTIVITY)**

- STRIP AND STOCKPILE TOPSOIL AS REQUIRED FOR INSTALLATION OF THE PROPOSED STORMWATER MANAGEMENT FACILITIES, COMPLETE GRADING, FINE GRADE AND SEED. STORMWATER MANAGEMENT FACILITY TO BE UTILIZED AS A SEDIMENT BASIN DURING CONSTRUCTION. CONTRACTOR TO UNDERCUT POND BOTTOM BY 2'.
- STRIP AND STOCKPILE TOPSOIL TO BE STRIPPED FROM ALL PROPOSED PAVEMENT AND BUILDING AREAS AND STOCKPILED IN DESIGNATED AREA. INSTALL SILT FENCE (OR DIVERSION SWALES) AROUND PERIMETER OF TOPSOIL PILE AND SEED WITH TEMPORARY SEEDING MIX. MULCH IS REQUIRED BETWEEN NOVEMBER 15TH AND APRIL 1ST.
- COMMENCE MASS GRADING OPERATIONS, COMPLETE REQUIRED CUTS AND FILLS. UPON COMPLETION OF THE MASS GRADING OPERATIONS, INSTALL ADDITIONAL EROSION CONTROL MEASURES INCLUDING STONE CHECK DAMS, AND TEMPORARY INTERCEPTOR SWALES. SWALES TO BE STABILIZED WITHIN 2 DAYS OF COMPLETION AND TO BE STABILIZED IMMEDIATELY. MEASURES ARE TO BE MAINTAINED BY THE CONTRACTOR UNTIL GROUND COVER HAS BEEN ESTABLISHED.
- CONTRACTOR MAY INSTALL UTILITIES DURING GRADING OPERATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO STABILIZE THE SITE AND VERIFY GRADING ELEVATIONS PRIOR TO UTILITY CONSTRUCTION. ADDITIONAL EROSION CONTROL MEASURES, INCLUDING STONE CHECK DAMS, AND TEMPORARY INTERCEPTOR SWALES SHALL BE PROVIDED AS SHOWN IN THE PLANS, OR AS DIRECTED.
- COMPLETE EARTHWORK, INCLUDING FINE GRADING OF SLOPES. SLOPES TO BE REPLACED WITH 6" OF TOPSOIL, MULCHED AND SEEDING WITHIN 2 DAYS OF COMPLETION. SILT FENCE TO BE INSTALLED AT TOE OF SLOPE (IF APPLICABLE).

- COMPLETE INSTALLATION OF UNDERGROUND UTILITIES AND ROAD BOX. RESTORE AND RE-SEED RIGHT-OF-WAY AREAS AS NEEDED.
- INSTALL CONCRETE TRUCK WASHOUT PRIOR TO CONCRETE POURING ACTIVITIES (SEE DETAIL).
- INSTALL ROAD BASE, GUTTERS AND PAVEMENT WITH EROSION CONTROL MEASURES AS NECESSARY TO MINIMIZE SILT DISTRIBUTION ON EXISTING AND CONSTRUCTED ROADWAYS.

**STEP 3: (STABILIZATION & MONITORING)**

- SEED AND MULCH ALL DISTURBED AREAS AS REQUIRED BY GP-0-20-001. SEED WITH A SEED MIX AS INDICATED IN CONSTRUCTION EROSION CONTROL NOTES, AND MULCH.
- SEED ALL SLOPES 3:1 OR STEEPER WITH STEEP SLOPE SEEDING MIX AND STABILIZE WITH EROSION CONTROL BLANKET - ECS-1B (EASTCOAST) OR AN APPROVED EQUIVALENT.
- FROM NOVEMBER 15TH TO APRIL 1ST, IF STRAW MULCH ALONE IS USED FOR TEMPORARY STABILIZATION, IT SHALL BE APPLIED AT DOUBLE THE STANDARD RATE OF 2 TONS PER ACRE, MAKING THE APPLICATION RATE 4 TONS PER ACRE.
- MONITOR STORMWATER MANAGEMENT FACILITY DURING CONSTRUCTION OPERATIONS FOR SILT ACCUMULATION. CONTRACTOR TO CLEAN AS NECESSARY.
- MAINTAIN PERIMETER SILT FENCE, DIVERSION SWALE, AND INLET PROTECTION UNTIL THE ADJACENT SOILS HAVE ACHIEVED 80% STABILIZATION.
- SEE CONSTRUCTION EROSION CONTROL NOTES FOR REQUIRED SEED MIXES AND TEMPORARY/WINTER STABILIZATION METHODOLOGY.
- DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE EFFECT ON THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED AND/OR AS DIRECTED BY THE TOWN ENGINEER OR OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE EXISTING ROADWAYS, PAVED AREAS, AND CHANNELS FREE OF MUD, DIRT, AND DEBRIS. THE CONTRACTOR WILL CLEAN THESE AREAS AS NECESSARY OR AS REQUIRED BY THE OWNER OR TOWN OF WEBSTER.



**SEDIMENT TRAP VOLUMES**

SEDIMENT TRAP I.D.	DRAINAGE AREA/ DISTURBED AREA TO INLET	REQUIRED SEDIMENT TRAP VOLUME (3,600 C.F./AC.)	TRAP DIMENSIONS* (L x W x D)	SEDIMENT TRAP VOLUME (PROVIDED)
A	±1.3 ACRES	4,680 CU. FT.	160'x10'x3'	4,800 CU. FT.
B	±1.0 ACRES	3,600 CU. FT.	125'x10'x3'	3,750 CU. FT.
PLUNGE POOL	±0.5 ACRES	1,800 CU. FT.	SEE PLAN (680 SFx3')	±2,000 CU. FT.

NOTE: SEDIMENT TRAPS TO BE CONSTRUCTED WITH A MINIMUM LENGTH TO WIDTH RATIO OF 2:1 AND A MINIMUM DEPTH OF 3 FEET. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 1'.

\*TRAP DIMENSIONS PRESENTED AS GUIDANCE FOR CONTRACTOR ONLY. ACTUAL DIMENSIONS MAY VARY BASED UPON FIELD CONDITIONS. HOWEVER, MINIMUM "REQUIRED SEDIMENT TRAP VOLUME" MUST BE PROVIDED.

**APPROVALS**

BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
COMMISSIONER OF PUBLIC WORKS

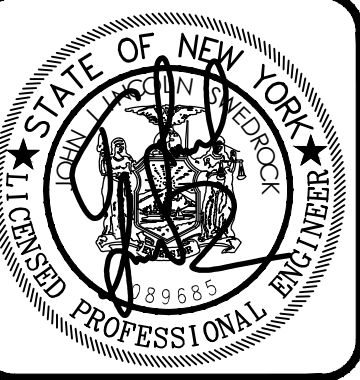
BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
HIGHWAY SUPERINTENDENT

BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
PLANNING BOARD CHAIRMAN

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BY	DATE	REVISIONS
7		
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FAIRPORT, NEW YORK 14450  
565-377-7360



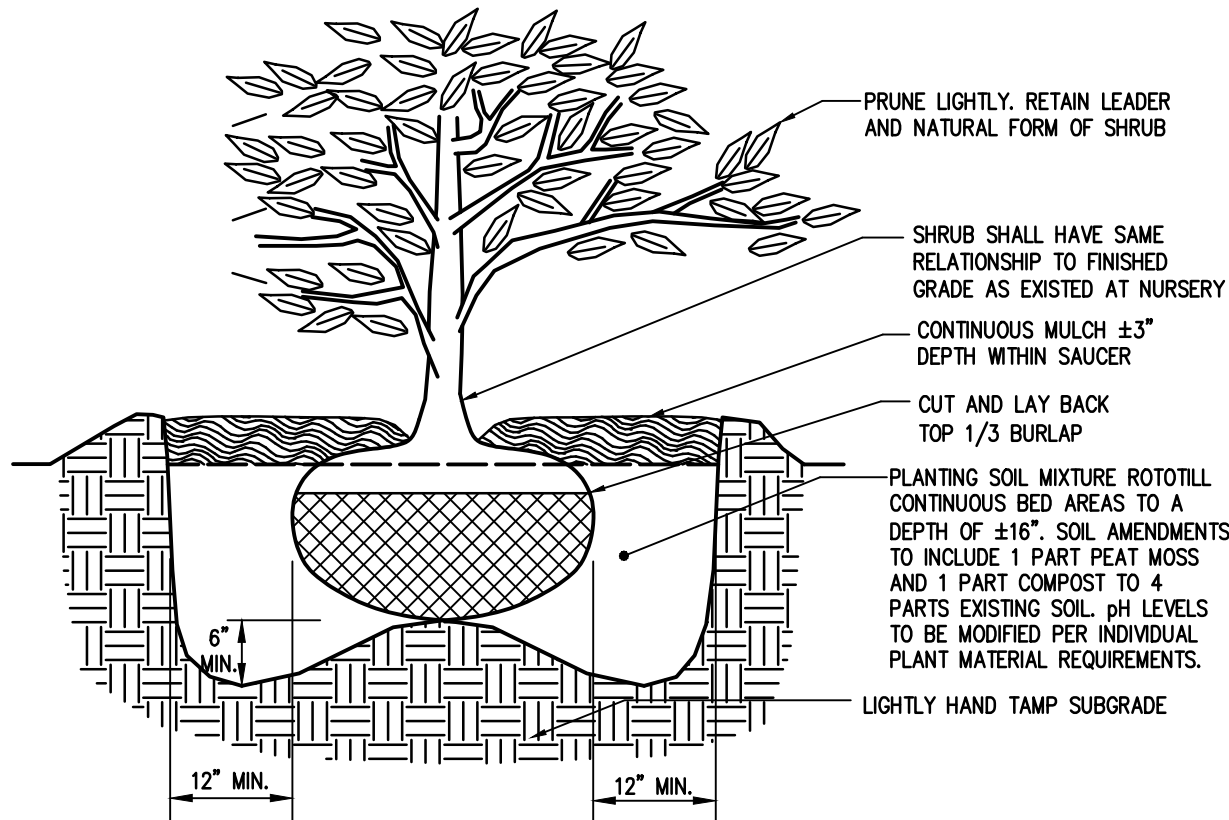
**1048 SHOECRAFT ROAD**  
PRELIMINARY/FINAL  
TOWN OF WEBSTER, MONROE COUNTY, NEW YORK STATE  
PROJECT LOCATION CLIENT  
SHOECRAFT ROAD APARTMENTS LLC  
SHOECRAFT ROAD, FAIRPORT, NY 14459

**CONSTRUCTION EROSION CONTROL PLAN**

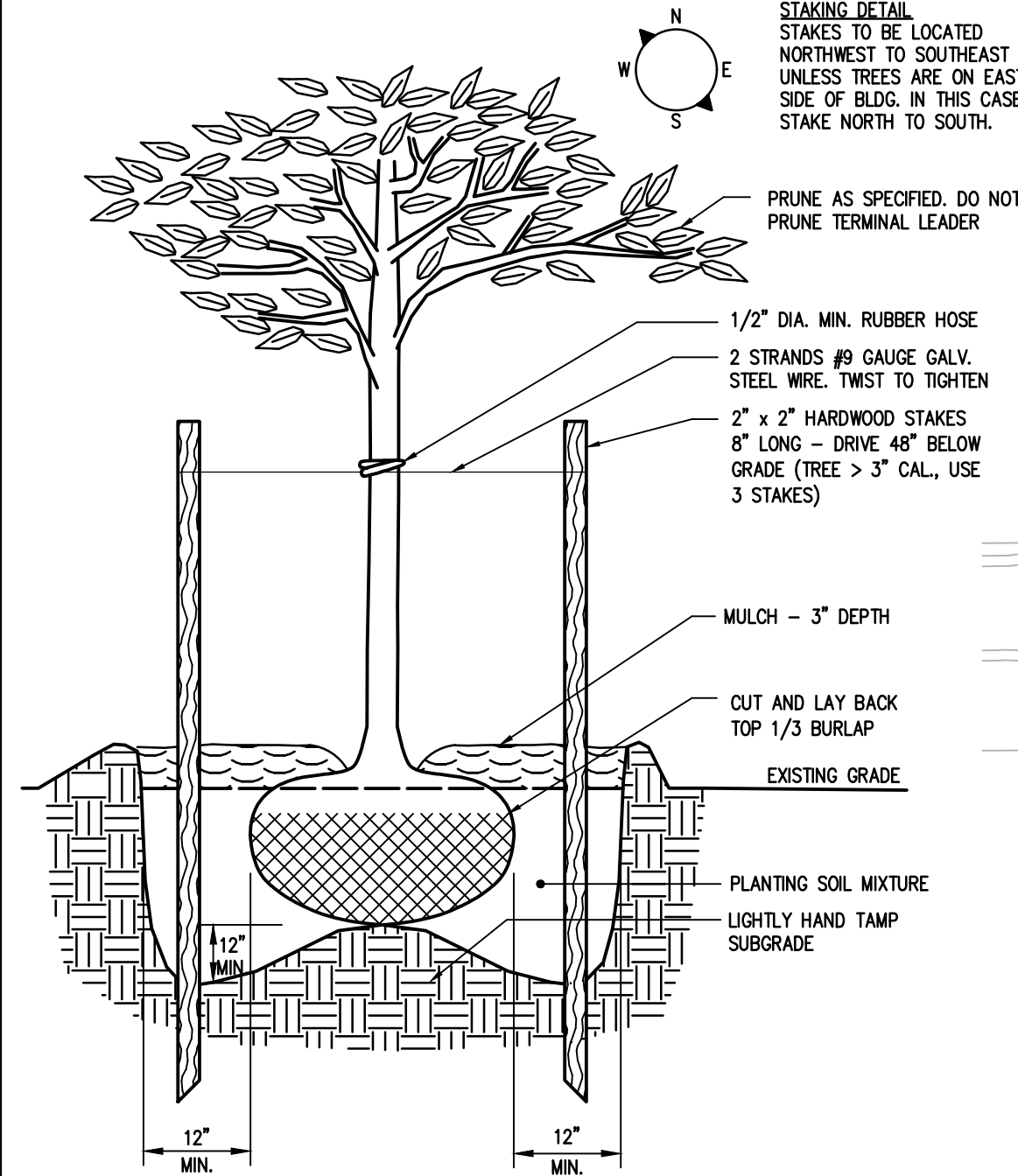
DRAWING TITLE

PROJECT MANAGER  
L. SWEDROCK  
PROJECT ENGINEER  
M. SERENI  
DRAWN BY  
A. D'ANGELO  
SCALE 1"=40'  
DATE ISSUED MARCH 11, 2025  
PROJECT NO. 2961  
DRAWING NO. 05



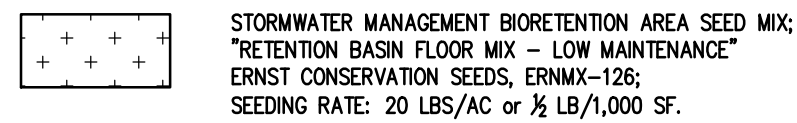


SHRUB PLANTING DETAIL  
N.T.S.

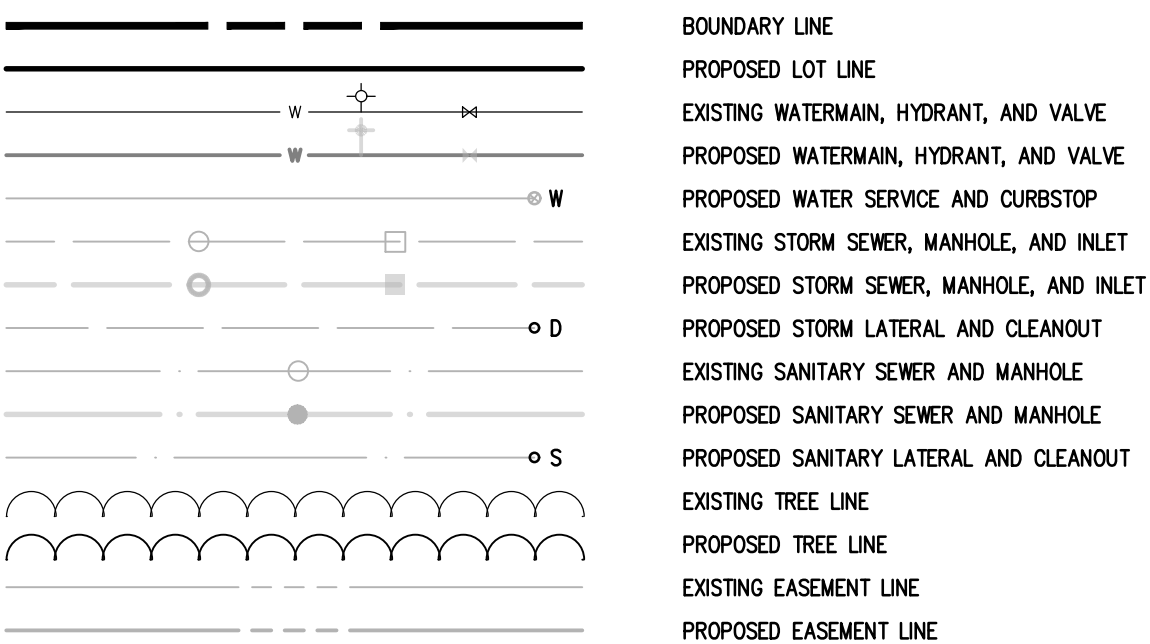


TREE PLANTING DETAIL  
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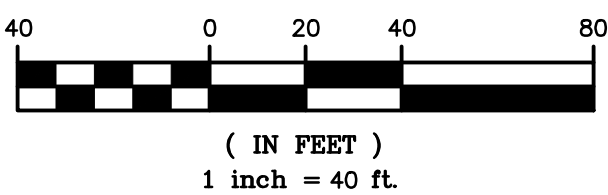
GROUNDCOVER SEEDING LEGEND



LEGEND

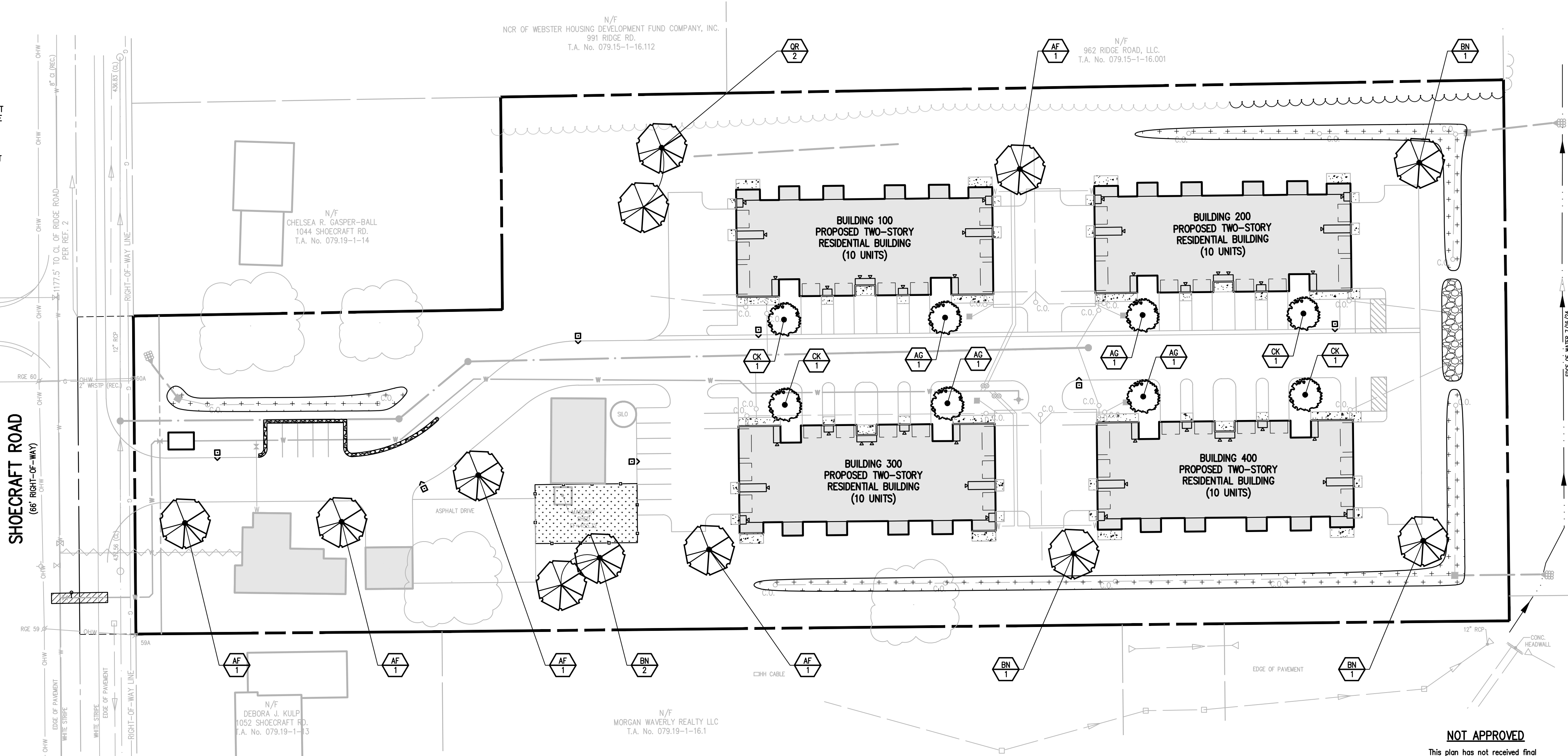


GRAPHIC SCALE



SITE PLANT MATERIALS LIST

QTY.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	COMMENTS
TREES						
5	AF	Acer x freemanii 'Autumn Blaze'	Autumn Blaze Maple	2.5-3" cal	B&B	
4	AG	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	2-2.5" cal	B&B	
5	BN	Betula nigra 'Cully'	Heritage River Birch	2.5-3" cal	B&B	
4	CK	Cornus kousa	Kousa Dogwood	2-2.5" cal	B&B	
2	QR	Quercus rubra	Red Oak	2.5-3" cal	B&B	



LANDSCAPE NOTES:

- ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED IN THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, ANSI Z60.1-2004.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY TAKEOFFS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION.
- ALL TREES SHALL BE LOCATED A MINIMUM DISTANCE OF FIVE FEET (5') FROM THE HORIZONTAL LINE OF UNDERGROUND UTILITIES TO THE PLANT BALL.
- ALL TREES SHALL BE LOCATED A MINIMUM DISTANCE OF TEN FEET (10') FROM THE HORIZONTAL LINE OF OVERHEAD UTILITIES TO THE PLANT BALL.
- PLANTING SOIL MIXTURE SHALL HAVE A RATIO BY VOLUME OF FOUR PARTS TOPSOIL TO ONE PART COMPOST. SOIL AMENDMENTS TO BE MODIFIED PER INDIVIDUAL PLANT MATERIAL REQUIREMENTS.
- STAKE TREES IMMEDIATELY AFTER PLANTING. REFER TO DETAIL.
- PROVIDE ALL LANDSCAPE PLANTING BEDS WITH A CONTINUOUS 3" LAYER OF 100% SHREDDED HARDWOOD MULCH, NO GREATER THAN 1" IN SIZE, UNIFORMLY MIXED AND FREE FROM DELETERIOUS MATERIAL.

- SEED ALL AREAS NOT PAVED, PLANTED OR SPECIFIED OTHERWISE WITH LAWN SEED.

LAWN SEED MIXTURE SHALL BE PROVIDED AS FOLLOWS:

'REPELL', 'OTATION' & 'MORNING STAR'	LBS/ACRE	% BY PURITY	% GERM
PERENNIAL RYE GRASS	35	85	85
'JAMESTOWN II', 'FORTRESS', 'ENSILVA'	35	97	80
RED FESCUE	30	85	80

SEEDING RATE: 6.0 LBS PER 1,000 SF.  
MULCH: STRAW AT TWO TONS PER ACRE, OR WOOD FIBER MULCH  
USED WITH A HYDROSEEDING APPLICATION METHOD, WITH TACKIFIER.  
STARTING FERTILIZER: 5-10-10 AT 20 LBS PER 1,000 SF.

PLEASE REFER TO BME DRAWING # 2961-05 / EROSION CONTROL PLAN FOR FURTHER SEEDING REQUIREMENTS IE: TEMPORARY SEEDING AND SPECIALIZED SEED MIXES.

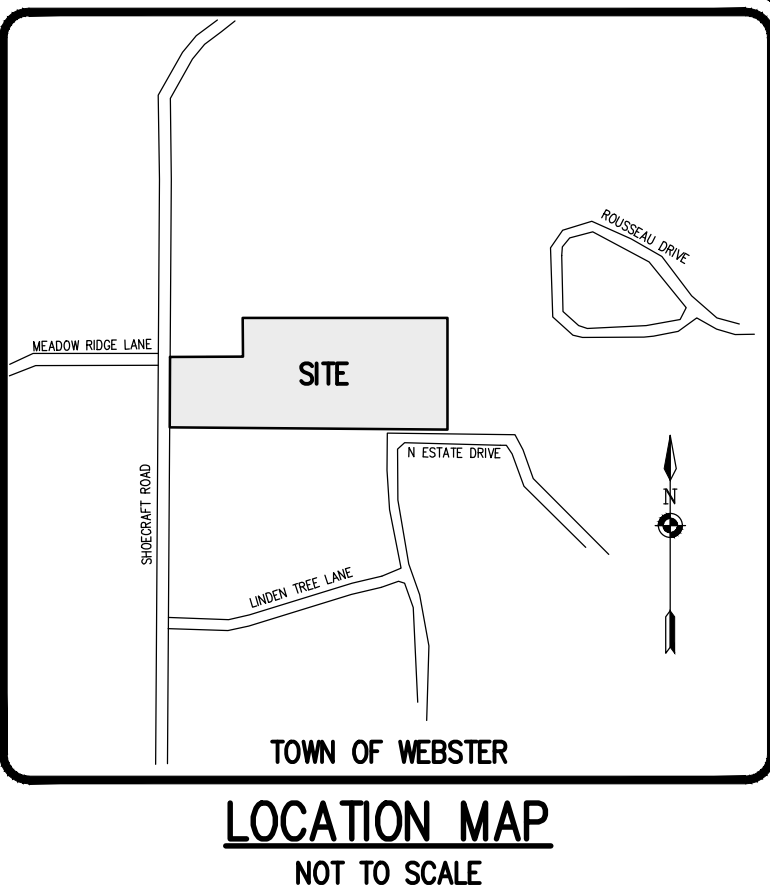
- PROPOSED PLANT MATERIALS SHALL BE FIELD LOCATED, AND THE CONTRACTOR SHALL PERFORM A ROUGH STAKEOUT OF PLANTINGS FOR REVIEW AND APPROVAL BY OWNER PRIOR TO PLANTING.

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CARE AND MAINTENANCE OF PLANT MATERIALS AND SEEDING AREAS UNTIL FINAL ACCEPTANCE.

- A MINIMUM 2 YEAR GUARANTEE SHALL BE PROVIDED ON ALL PLANT MATERIALS FROM DATE OF FINAL ACCEPTANCE.

APPROVALS

BY: COMMISSIONER OF PUBLIC WORKS	DATE:
BY: TOWN ASSESSOR	DATE:
BY: FIRE MARSHAL	DATE:
BY: PLANNING BOARD CHAIRMAN	DATE:
BY: WEBSTER SEWER DISTRICT	DATE:
BY: MONROE COUNTY WATER AUTHORITY	DATE:
BY: HIGHWAY SUPERINTENDENT	DATE:



Drawing Alteration  
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:  
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way. If an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation 'Altered by' followed by his signature and the date of such alteration, and a specific description of the alteration."

REVISIONS	DATE	BY
1		
2		
3		
4		
5		
6		
7		

**BME ASSOCIATES**  
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS  
WWW.BMEPC.COM  
565-377-7360  
10 LIFEBRIDGE LANE EAST  
FAIRPORT, NEW YORK 14450



**1048 SHOECRAFT ROAD**  
PRELIMINARY/FINAL  
TOWN OF WEBSTER, MONROE COUNTY, NEW YORK STATE  
SHOECRAFT ROAD APARTMENTS LLC  
1048 SHOECRAFT ROAD  
ONTARIO, NY 14519

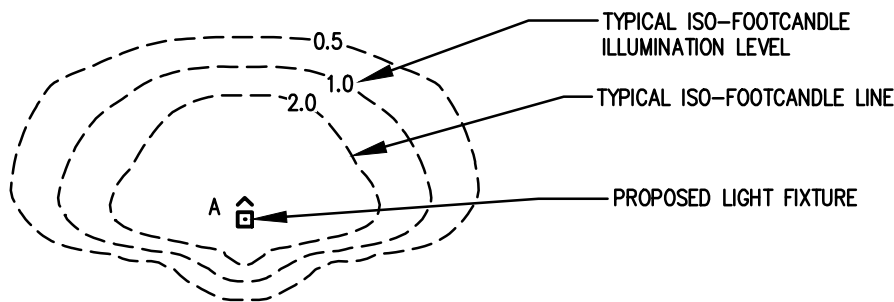
LANDSCAPE PLAN

PROJECT LOCATION CLIENT	PROJECT MANAGER L. SWEDROCK PROJECT ENGINEER M. SERENI DRAWN BY J. SQUER	SCALE 1" = 40'	DATE ISSUED MARCH 11, 2025
DRAWING NO.	2961		
	06		

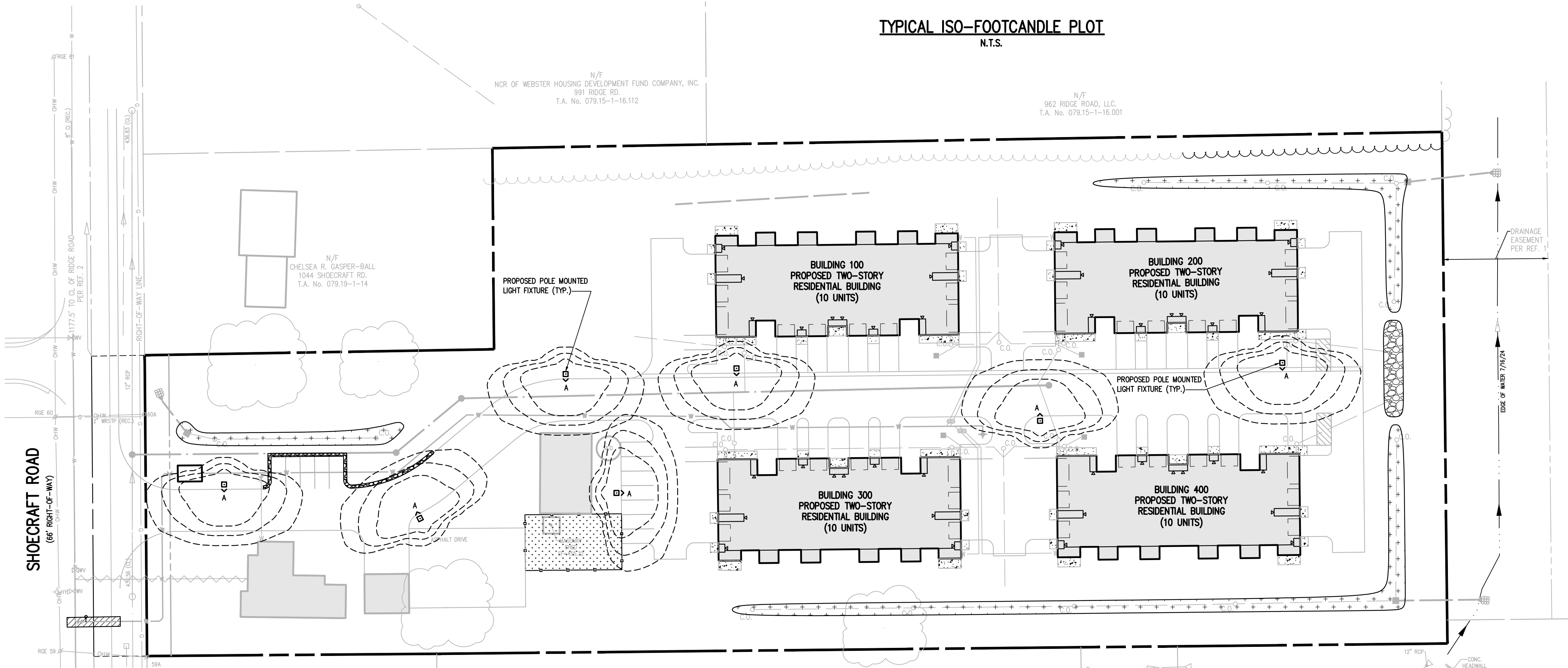


## LUMINAIRE SCHEDULE

KEY SYMBOL	QTY.	MANUFACTURER CATALOGUE NUMBER	WATTAGE	LUMENS/WATT	ARRANGEMENT	MH	POLE	BUG RATING	DESCRIPTION
A	7	UTLD-PA1-100-740-U-T3-BK	100	107	SINGLE	15'	15'	B2-U0-G3	TRADITIONAL DECORATIVE POST TOP LUMINAIRE



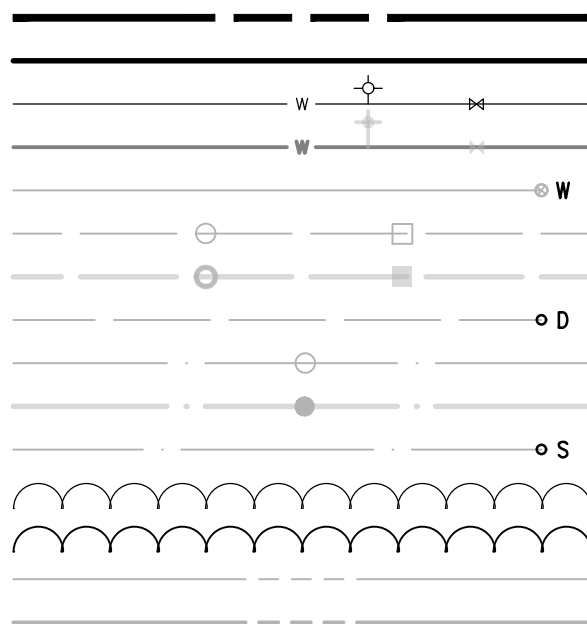
TYPICAL ISO-FOOTCANDLE PLOT  
N.T.S.



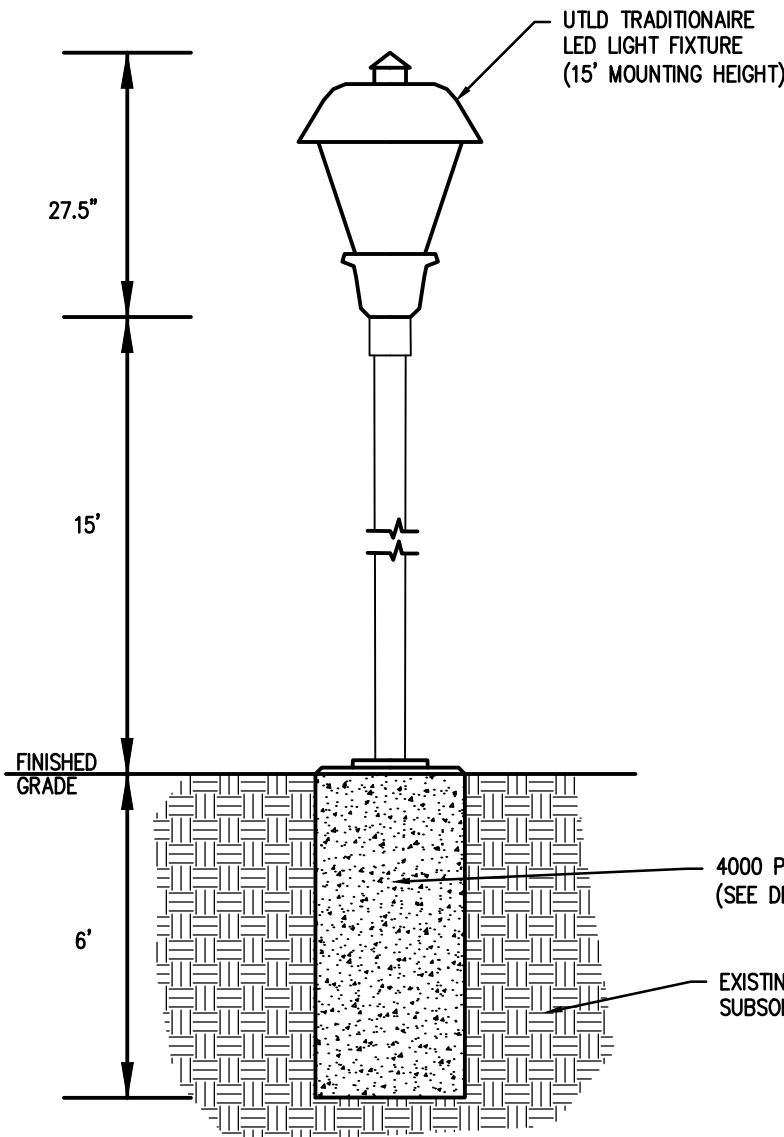
SHOECRAFT ROAD  
(66' RIGHT-OF-WAY)

NORTH ESTATE DRIVE  
(60' RIGHT-OF-WAY)

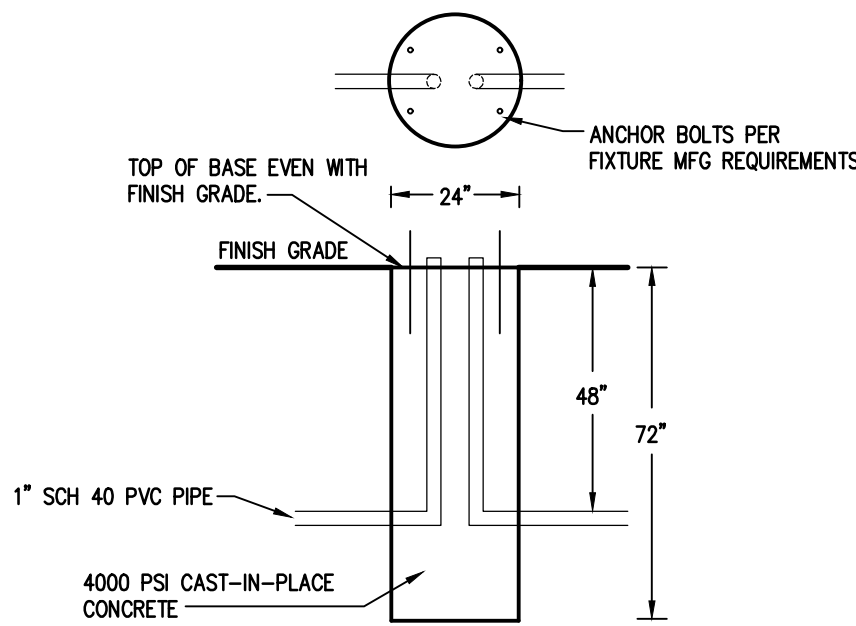
### LEGEND



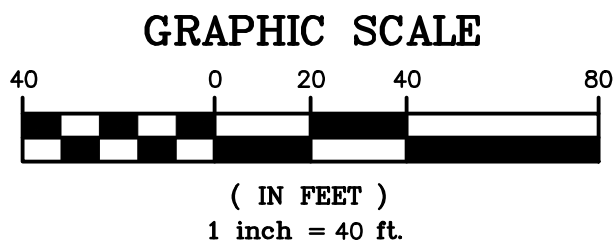
BOUNDARY LINE  
PROPOSED LOT LINE  
EXISTING WATERMAIN, HYDRANT, AND VALVE  
PROPOSED WATERMAIN, HYDRANT, AND VALVE  
EXISTING STORM SEWER, MANHOLE, AND INLET  
PROPOSED STORM SEWER, MANHOLE, AND INLET  
EXISTING SANITARY SEWER AND MANHOLE  
PROPOSED SANITARY SEWER AND MANHOLE  
EXISTING EASEMENT LINE  
PROPOSED EASEMENT LINE



15' TOP-MOUNT LIGHT DETAIL  
NOT TO SCALE

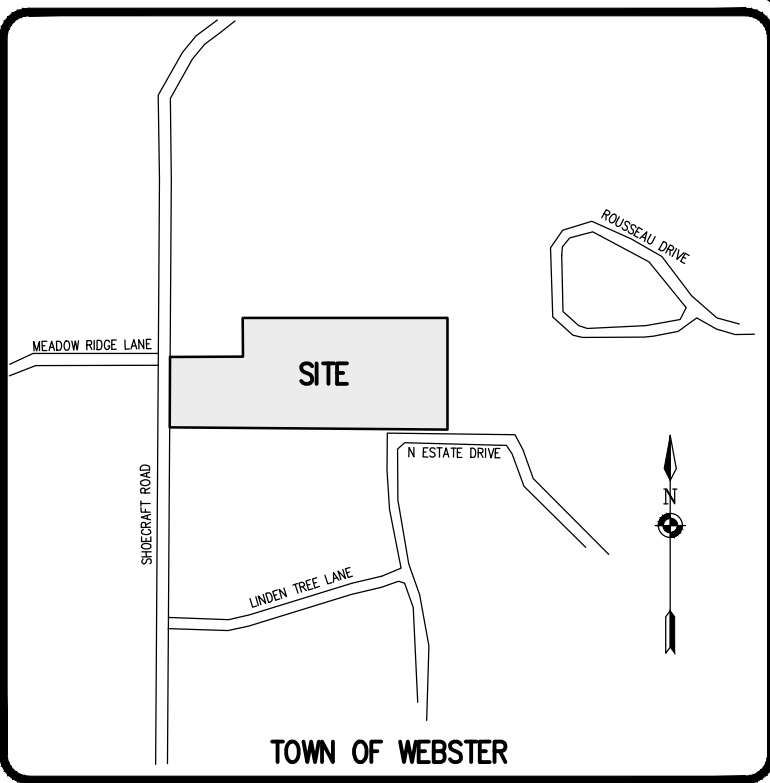


LIGHT POLE BASE DETAIL  
NOT TO SCALE



### NOT APPROVED

This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.



LOCATION MAP  
NOT TO SCALE

### LIGHTING NOTES:

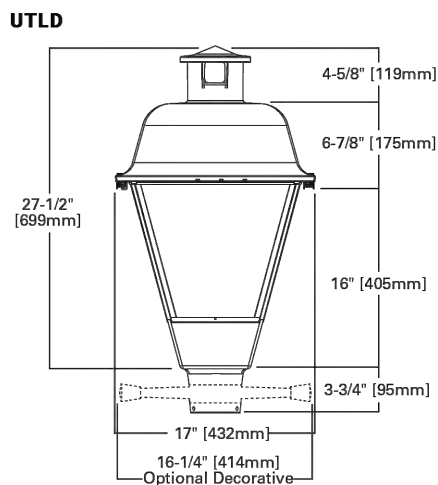
- SITE LIGHTING TO BE PROVIDED AS DETAILED IN PROVIDED LUMINAIRE SCHEDULE, OR APPROVED EQUIVALENT.
- ALL FIXTURES TO HAVE BLACK FINISH.
- ALL SITE LIGHTING TO BE DARK SKY COMPLIANT.
- ALL SITE LIGHTING TO BE CONTROLLED WITH DUSK TO DAWN PHOTO CONTROLS.
- ALL POLES TO BE PROVIDED A 120 VOLT LIGHTING CIRCUIT.
- ALL LIGHT POLES TO BE LITHONIA LIGHTING STEEL SQUARE POLE, 22' POLE LENGTH (SEE LIGHT POLE DETAILS)
- CONTRACTOR IS RESPONSIBLE FOR ALL QUANTITIES AND TAKEOFFS.
- OWNER / CONTRACTOR IS RESPONSIBLE FOR ALL ELECTRICAL SERVICE DISTRIBUTION AND LIGHTING CIRCUITRY DESIGN.
- CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING MOUNTED LIGHT FIXTURE LOCATIONS.
- IF AN EQUIVALENT FIXTURE IS PROPOSED, THE CONTRACTOR SHALL SUPPLY SPEC. SHEETS FOR ALL LIGHT FIXTURES AND LIGHT POLES AND SUPPLY LIGHTING PLAN FOR EQUIVALENT FIXTURES FOR OWNER REVIEW AND APPROVAL PRIOR TO INSTALLATION.

### Streetworks UTLD Traditionaire

Decorative Post Top Luminaire



### Dimensional Details



### APPROVALS

BY: COMMISSIONER OF PUBLIC WORKS	DATE:
BY: TOWN ASSESSOR	DATE:
BY: FIRE MARSHAL	DATE:
BY: PLANNING BOARD CHAIRMAN	DATE:
BY: WEBSTER SEWER DISTRICT	DATE:
BY: MONROE COUNTY WATER AUTHORITY	DATE:
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BME ASSOCIATES

ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS  
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1048 SHOECRAFT ROAD

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TOWN OF WEBSTER, MONROE COUNTY, NEW YORK STATE  
SHOECRAFT ROAD APARTMENTS LLC  
1048 SHOECRAFT ROAD  
FAIRPORT, NY 14450

LIGHTING PLAN

PROJECT LOCATION CLIENT

PROJECT MANAGER  
L. SWEDROCK  
PROJECT ENGINEER  
M. SERENI

DRAWN BY  
J. SQUER

SCALE DATE ISSUED  
1" = 40' MARCH 11, 2025

PROJECT NO.  
2961

DRAWING NO.  
07



P:\3681 Drawings\Final\3681 Design Base.dwg

UTILITY NOTES:

- THE SETBACK LINES AND NOTES RELATING TO SETBACK SHOWN HEREON ARE INTENDED TO SHOW APPLICABLE ZONING REQUIREMENTS OF THE TOWN OF WEBSTER AS OF THE DATE OF THIS MAP AND ARE NOT INTENDED TO IMPOSE ANY ADDITIONAL RESTRICTIONS OTHER THAN SAID ZONING REQUIREMENTS.
  - BUILDINGS SHOWN ON THIS PLAN ARE GRAPHICAL REPRESENTATIONS ONLY.
  - ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF WEBSTER THE APPROPRIATE AGENCIES (IE, MONROE COUNTY WATER AUTHORITY, AND THE MONROE COUNTY HEALTH DEPARTMENT) UNLESS OTHERWISE NOTED.
  - THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION, FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY GEODETIC SURVEY OFFICE.
  - THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCES OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS.
  - EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM FIELD LOCATIONS AND/OR AVAILABLE UTILITY COMPANY RECORD PLANS. EXISTING UTILITIES WHETHER FUNCTIONAL OR ABANDONED WITHIN THE PROJECT AREA MAY NOT BE SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL CALL THE UPFO HOTLINE AT (800)962-7962 OR 811 FOR STAKE-OUT OF EXISTING UTILITIES.
  - THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET EXISTING CONDITIONS.
  - HIGHWAY DRAINAGE ALONG SHOECRAFT ROAD IS TO BE MAINTAINED. OWNER TO FURNISH AND PLACE DRIVEWAY CULVERT PIPE (IF REQUIRED) OF A SIZE AND TYPE, AT A LINE AND GRADE TO BE DETERMINED BY THE COUNTY SUPERINTENDENT OF HIGHWAYS.
  - UTILITY RECORD MAPPING LOCATED ON OR ADJACENT TO PROJECT SITE:
- | AGENCY        | UTILITY TYPE | CONTACT NUMBER    |
|---------------|--------------|-------------------|
| MCWA          | WATER        | 585-442-2000 X285 |
| MCWA          | ELECTRIC     | 585-694-5999      |
| ROE           | GAS          | 585-771-6814      |
| WEBSTER SEWER | SANITARY     | 585-265-0505      |

WATERMAIN:

- WATERMAINS AND APPURTENANCES TO BE CONSTRUCTED TO THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE MONROE COUNTY WATER AUTHORITY. (SEE MCWA PUBLIC WATER SYSTEM NOTES).
  - WATERMAINS SHALL BE ZINC COATED DUCTILE IRON CEMENT LINED CLASS 52, PVC DR-18, PVC DR-18 OR AS NOTED ON THE PLANS.
  - WATERMAINS AND APPURTENANCES SHALL BE INSTALLED PER THE MOST RECENT AWWA (C600 FOR DIP)/(C900 FOR PVC) STANDARDS.
  - THE WATER MAIN SHALL BE PRESSURE/LEAKAGE TESTED IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE AWWA (C600 FOR DIP)/(C605 FOR PVC) STANDARDS (LATEST REVISION) OR IN ACCORDANCE WITH MORE STRINGENT REQUIREMENTS IMPOSED BY THE MONROE COUNTY WATER AUTHORITY.
  - THE WATER MAIN SHALL BE DISINFECTED PER THE MOST RECENT AWWA C651 STANDARDS. FOLLOWING DISINFECTION, THE WATER MAIN SHALL BE FLUSHED UNTIL THE CHLORINE IN THE WATER LEAVING THE MAIN IS NO HIGHER THAN THAT GENERALLY PREVAILING IN THE SYSTEM. THE SAMPLING POINT(S) MUST BE DECONTAMINATED BY FLAMING.
  - FIRE HYDRANTS ARE NOT ACCEPTABLE SAMPLING POINTS.
- THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH MUST RECEIVE AT LEAST 48-HOUR ADVANCE NOTIFICATION REQUESTING SAMPLING SERVICES. THE HEALTH DEPARTMENT WILL COLLECT SAMPLES FOR FREE CHLORINE RESIDUAL, TOTAL AND FECAL COLIFORM AND 24-HOUR BACTERIAL PLATE COUNT.
- ALL WATER MAIN FITTINGS NOT RECEIVING 24-HOUR CHLORINE DISINFECTION CONTACT TIME MUST BE SWAB DISINFECTED 30 MINUTES PRIOR TO INSTALLATION.
- THE WATER MAIN SHALL NOT BE PLACED INTO SERVICE UNTIL SO AUTHORIZED BY THE MONROE COUNTY DEPARTMENT OF HEALTH.
- PRIOR TO INSTALLATION OF THE WATERMAIN, THE CONTRACTOR SHALL PROVIDE RESULTS OF A 10 POINT SOIL TEST EVALUATION PER ANSI-AWWA C105-A21.5-92 TO DETERMINE THE NEED FOR POLYETHYLENE ENCASMENT. SOIL TESTS ARE TO BE PERFORMED BY AN APPROVED SOIL TESTING LABORATORY IN ACCORDANCE WITH MCWA STANDARDS.
  - THE FOLLOWING COMPUTER SIMULATED FLOW TESTS WERE PROVIDED BY THE MCWA:

LOCATION: 1052 SHOECRAFT ROAD  
PRESSURE ZONE: 650  
TEST ELEVATION: 451'  
SIMULATED SUPPLY CURVE:

Q (GPM)	PRESSURE (PSI)	HEAD (FT)
0	82	169.42
500	71.8	172.79
1,000	57.9	133.75
1,500	32.5	75.08
1,985.20	0	0

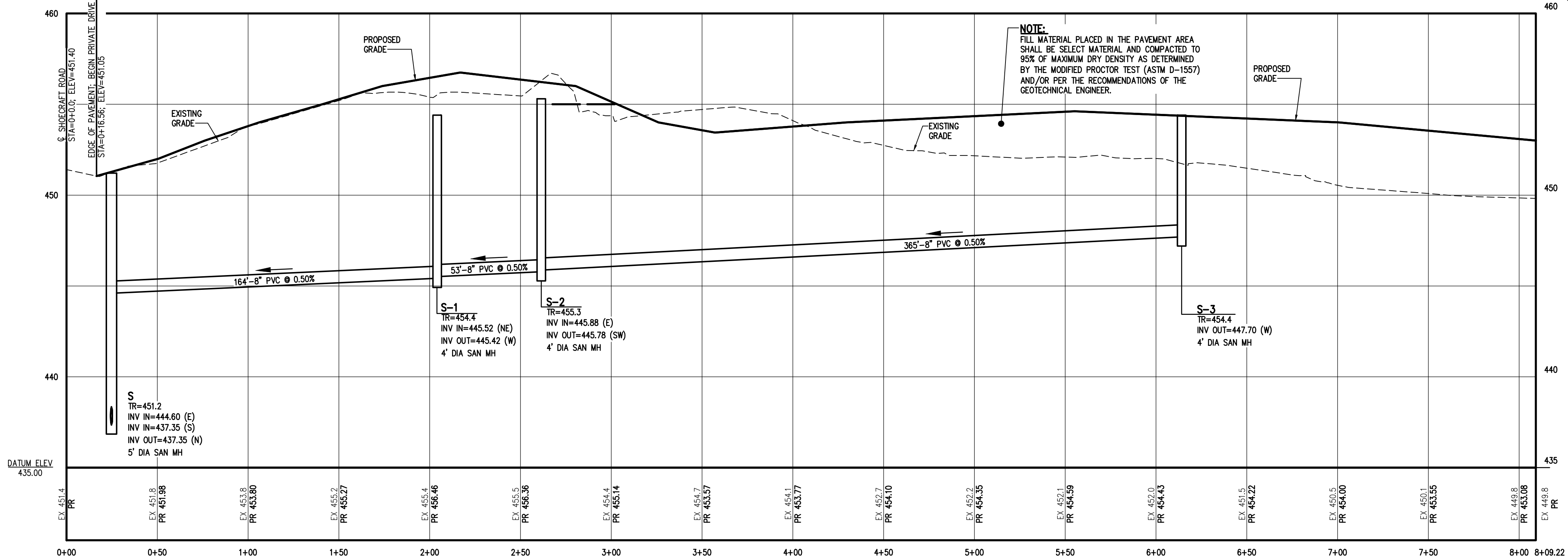
THE PRESSURE AND FLOW DATA PROVIDED HEREIN REPRESENTS A COMPUTER SIMULATED AVERAGE ESTIMATED VALUE AT THIS LOCATION IN THE DISTRIBUTION SYSTEM FROM KNOWN AND/OR ESTIMATED SYSTEM VARIABLES. THE FLOW VALUES INDICATED BY THE SUPPLY CURVE MAY VARY GREATLY DEPENDING ON DEMANDS, OPERATIONAL PARAMETERS, SYSTEM CONFIGURATIONS, SUBSEQUENT MODIFICATIONS AND OTHER RELATED CRITERIA.

SANITARY SEWER:

- ALL SANITARY SEWERS ARE IN COMPLIANCE WITH THE SPECIFICATIONS AND SEWER POLICY OF THE TOWN OF WEBSTER.
- SANITARY SEWERS, HOUSE LATERALS AND APPURTENANCES SHALL BE CONSTRUCTED ACCORDING TO THE SPECIFICATIONS OF THE TOWN OF WEBSTER.
- SANITARY SEWER PIPE SHALL BE 8" PVC SDR-35 OR AS NOTED ON THE PLAN.
- FLOOR DRAINS TO BE CONNECTED TO THE SANITARY SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION OF FOOTER DRAINS INSTALLED TO INTERCEPT UNCONTAMINATED GROUNDWATER. ALL DISCHARGES TO THE SANITARY SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR THE MONROE COUNTY SEWER USE LAW.
- INFILTRATION AND EXFILTRATION SHALL BE LIMITED TO 100 GALLONS PER MILE PER INCH DIAMETER OF PIPE PER 24 HOURS FOR SANITARY SEWERS. IF AN AIR TEST IS USED, THE TEST AS A MINIMUM SHALL CONFORM TO THE PROCEDURE DESCRIBED IN ASTM-1417, ENTITLED "STANDARD PRACTICE FOR INSTALLATION ACCEPTANCE OF PLASTIC NON-PRESSURE SEWER LINES USING LOW-PRESSURE AIR". SANITARY MANHOLES SHALL BE TESTED FOR EXFILTRATION
- WATER TESTING - EACH MANHOLE SHALL BE FILLED WITH A MAXIMUM OF 10 FEET OF WATER, SUBJECTED TO A 24 HOUR TEST AND SHOW A LOSS OF WATER NOT TO EXCEED 15 GALLONS/24 HOURS FOR A 4 FOOT IDMH. INFILTRATION TESTS SHALL ADHERE TO THE SAME LIMITS.
- VACUUM TESTING - EACH MANHOLE SHALL BE SUBJECTED TO A VACUUM OF 10 INCHES OF HG FOR ONE MINUTE WITH AN ALLOWABLE LOSS OF 1 INCH OF HG.
- THE FOLLOWING TESTS SHALL BE PERFORMED ON PVC SANITARY SEWER PIPE:
  - DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPE. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACK FILL HAS BEEN IN PLACE AT LEAST 30 DAYS.
  - NO PIPE SHALL EXCEED A 5% DEFLECTION.
  - IF THE DEFLECTION TEST IS TO BE RUN USING A RIGID BALL OR MANDREL, IT SHALL HAVE A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.
- NEW SEWERS ARE TO BE PLUGGED WHEN CONNECTED TO EXISTING MANHOLES UNTIL THE NEW SEWERS ARE FLUSHED, TESTED, AND READY FOR SERVICE.

STORM SEWER:

- STORM SEWERS, BUILDING LATERALS AND APPURTENANCES SHALL BE CONSTRUCTED ACCORDING TO THE SPECIFICATIONS OF THE TOWN OF WEBSTER.
- STORM SEWER PIPE SHALL BE HIGH-DENSITY POLYETHYLENE (HDPE) SMOOTH INTERIOR, OR AS NOTED ON THE PLAN.
- CHECK VALVES TO BE PROVIDED ON SUMP PUMPS.
- DOWNSPOUTS SHALL DISCHARGE ON SPLASH BLOCKS. FOUNDATION DRAINS SHALL DISCHARGE ON SPLASH BLOCKS VIA SUMP PUMPS
- LATERALS AND SERVICES:
  - ALL LATERALS OR SERVICES SHALL BE AS NOTED BELOW UNLESS OTHERWISE NOTED ON THE PLANS:  
WATER - 2" PVC DR-14 FROM THE VALVE TO THE BUILDING  
SANITARY - 6" PVC SDR-21 INSTALLED AT 2.00% MIN SLOPE  
STORM - 6" PVC SDR-35 INSTALLED AT 1.00% MIN SLOPE.  
EXTEND LATERALS TO 10 FEET BEYOND THE RIGHT-OF-WAY, OR 10 FEET BEYOND THE EASEMENT LINES, WHICHEVER IS GREATER.
- NO CURB VALVE BOXES (WATER LATERAL) ARE ALLOWED IN DRIVEWAYS. THE SERVICE OR DRIVEWAY WILL BE RELOCATED IF THIS CONFLICT ARISES.
- ALL HOMES WITH WATER PRESSURE GREATER THAN 70 PSI AT THE METER WILL REQUIRE A PRESSURE REDUCING VALVE INSTALLED AFTER THE METER.
- SANITARY LATERALS' WITNESS STAKES SHALL BE 2"x4" HARDWOOD, EXTENDED 2-3" ABOVE GRADE AND PAINTED GREEN.
- ANY LAUNDRY WASTEWATER SHALL BE DIRECTED TO THE SANITARY SEWER.
- CLEANOUTS FOR STORM LATERALS SHALL BE INSTALLED AT ALL HORIZONTAL BENDS AND AT XXX' INTERVALS ALONG THE LATERAL. CLEANOUTS FOR SANITARY LATERALS SHALL BE INSTALLED AT THE RIGHT-OF-WAY OR EASEMENT LINE, AT ALL BENDS 45' OR GREATER, AND AT 85-100 FOOT INTERVALS THEREAFTER.



PROPOSED PRIVATE DRIVE

SCALE: HORIZ: 1"=40'  
VERT: 1"=4'

CONSTRUCTION EROSION CONTROL NOTES:

- THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) CONSISTS OF THE STORMWATER MANAGEMENT REPORT, THE PROJECT PLANS, INCLUDING THE GRADING, CONSTRUCTION EROSION CONTROL PLAN AND DETAIL SHEET, AND THE TOWN OF WEBSTER DESIGN AND CONSTRUCTION SPECIFICATIONS REGARDING STORMWATER CONTROL. THE SWPPP FOR THIS PROJECT IS INTENDED TO CONFORM WITH THE NYSDEC GENERAL PERMIT GP-0-20-001 AND THE REQUIREMENTS OF LOCAL AND NYSDEC AUTHORITIES REGARDING THE CONTROL OF STORMWATER QUANTITY AND QUALITY.
- THE OWNER IS RESPONSIBLE FOR IMPLEMENTING THE REQUIRED SWPPP. THE OWNER'S CONTRACTOR, SUB-CONTRACTOR AND ALL OTHERS ASSOCIATED WITH THE IMPLEMENTATION OF THE PLAN SHALL BE FAMILIAR WITH THE PLAN AND THE CONDITIONS OF THE NYSDEC GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
- ANY MODIFICATIONS OR DEVIATIONS FROM THE SWPPP, INCLUDING EROSION CONTROL MEASURES AND STORMWATER MANAGEMENT FACILITIES, SHALL BE DOCUMENTED IN THE INSPECTION REPORT AND CONSIDERED PART OF THE SWPPP FOR THE PROJECT.
- THE OWNER IS RESPONSIBLE FOR FILING THE NOTICE OF INTENT (NOI) FOR CONSTRUCTION ACTIVITY WITH NYSDEC PRIOR TO COMMENCING ANY CONSTRUCTION. A COPY OF THE NOI SHALL BE KEPT ON-SITE AND PROVIDED TO THE MUNICIPALITY.
- THE OWNER SHALL BE RESPONSIBLE FOR PROVIDING ON SITE INSPECTIONS BY A LICENSED PROFESSIONAL REGARDING EROSION CONTROL DURING CONSTRUCTION. INSPECTIONS ARE TO BE PROVIDED AT A MINIMUM OF ONCE A WEEK FOR DISTURBANCES LESS THAN 5 ACRES. AN INSPECTION REPORT LOG AND THE SWPPP ARE TO BE KEPT ON-SITE BY THE OWNER.
- FOR SITES WHERE SOIL DISTURBANCE ACTIVITIES HAVE BEEN TEMPORARILY SUSPENDED (E.G. WINTER SHUTDOWN) AND TEMPORARY STABILIZATION MEASURES HAVE BEEN APPLIED TO ALL DISTURBED AREAS, THE OWNER/OPERATOR MAY REDUCE THE SELF-INSPECTION FREQUENCY, BUT SHALL MAINTAIN A MINIMUM OF MONTHLY INSPECTIONS. (30 CALENDAR DAYS)
- THE OWNER'S CONTRACTOR/REPRESENTATIVE SHALL IDENTIFY AT LEAST ONE INDIVIDUAL TO BE TRAINED FROM THEIR COMPANY THAT WILL BE RESPONSIBLE FOR IMPLEMENTATION OF THE SWPPP. THE INDIVIDUAL MUST RECEIVE (4) HOURS OF NYSDEC TRAINING EVERY (3) YEARS. THE OWNER/OPERATOR SHALL ENSURE THAT AT LEAST ONE OF THE TRAINED INDIVIDUALS IS ON SITE ON A DAILY BASIS WHEN SOIL DISTURBANCE ACTIVITIES ARE BEING PERFORMED.
- FOR DISTURBANCES LESS THAN 5 ACRES, IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED, THE APPLICATION OF SOIL STABILIZATION MEASURES MUST BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN 14 DAYS FROM THE DATE THE CURRENT SOIL DISTURBANCE ACTIVITY CEASED. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY GROUNDCOVER, THE DISTURBED AREAS SHALL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL. ADDITIONAL TIME FRAMES FOR STABILIZATION ARE SUBJECT TO THE REQUIREMENTS OF A REGULATED TRADITIONAL LAND USE MSA.
- THE OWNER'S CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, CLEANING, REPAIR, AND REPLACEMENT OF EROSION CONTROL MEASURES DURING SITE CONSTRUCTION.
- ALL DISTURBED AREAS TO BE RECLAIMED WITH A MINIMUM OF 6" TOPSOIL.
- AREAS OR EMBANKMENTS REQUIRING AN EROSION CONTROL BLANKET SHALL UTILIZE ECS-1B (EASTCOAST) OR AN APPROVED EQUIVALENT.
- THE BIORETENTION FACILITY MAY NOT BE CONSTRUCTED UNTIL ALL CONTRIBUTING DRAINAGE AREAS HAVE BEEN STABILIZED.
- ALL DISTURBED AREAS TO BE RESTORED PER TABLE 5.2 SOIL RESTORATION REQUIREMENTS FOUND IN CHAPTER 5: RUNOFF REDUCTION TECHNIQUES OF THE NYS STORMWATER MANAGEMENT DESIGN MANUAL.
- TEMPORARY SEEDING OF DISTURBED AREAS SHALL BE PROVIDED AS FOLLOWS:

THE SURFACE TWO INCHES OF SOIL SHOULD BE LOOSENEED BY DISKING, RAKING, OR BACK-BLADING WITH A BULLDOZER, IMMEDIATELY FERTILIZE WITH 300 LBS PER ACRE (OR 7 LBS PER 1000 SQ. FT.) OF 10-10-10 FERTILIZER. IMMEDIATELY SEED WITH THE FOLLOWING MIX:

	LBS./ACRE	LBS./1000 SQ. FT.
ANNUAL RYEGRASS	40	1
PERENNIAL RYEGRASS	40	1
OATS	40	1
WHITE CLOVER (+ INOCULANT)	4	0.1

SEED SHOULD HAVE A GERMINATION RATE OF AT LEAST 85 PERCENT AND MINIMAL INERT MATERIAL.

15. DISTURBED AREAS SHALL BE STABILIZED USING PERMANENT LAWN SEEDING MIX UPON COMPLETION OF GRADING AND CONSTRUCTION:

	LBS./ACRE	% BY PURITY	% GERM.
PERENNIAL RYE GRASS	35	85	85
RED FESCUE	35	87	80
KENTUCKY BLUEGRASS	30	85	80

SEEDING RATE: 6.0 LBS PER 1,000 SQ. FT.  
MULCH: STRAW OR WOOD FIBER MULCH USED WITH HYDROSEEDING METHOD, AT TWO TONS PER ACRE WITH TACKIFIER  
STARTING FERTILIZER: 5-10-10 AT 20 LBS PER 1,000 SQ. FT

16. SLOPES 3:1 OR GREATER SHALL BE SEEDDED WITH HEAVY MULCH AND MAY REQUIRE ADDITIONAL STABILIZATION MEASURES. SLOPES SHALL BE FINE GRADED WITH A MINIMUM OF 6" TOPSOIL AND SEEDDED WITH FOLLOWING SEED MIX:

NATIVE STEEP SLOPE MIX WITH ANNUAL RYE GRASS - ERNWX-181		
32.2%	Sorghastrum nutans	INDIANGRASS
20%	Lolium multiflorum	ANNUAL RYEGRASS
17%	Elymus virginicus	VIRGINIA WILDRYE
8%	Andropogon gerardii	BIG BLUESTEM
6%	Agrostis perennans	AUTUMN BENTGRASS
3%	Panicum virgatum 'Shownee'	SWITCHGRASS
2.5%	Echinochloa purpurea	PURPLE CONEFLOWER
2%	Agrostis scabra	TICKLEGRASS
2%	Tridens flavus	PUPPETOP
2%	Chamaecrista fasciculata	PARTRIDGE PEA
1%	Coreopsis lanceolata	LANCELEAF COREOPSIS
1%	Heliopsis helianthoides	OXEYE SUNFLOWER
1%	Rudbeckia hirta	BLACKEYED SUSAN
0.7%	Lespedeza virginica	SLENDER BUSHLOVER
0.6%	Liatris spicata	MARSH BLAZING STAR
0.5%	Monarda fistulosa	WLD BERGAMONT
0.4%	Aster novae-angliae	NEW ENGLAND ASTER
0.1%	Pychnanthemum tenuifolium	SLENDER MOUNTAINMINT

SEEDING RATE: 60 LBS PER ACRE OR 1 LB PER 1000 SF  
INOCULANT: RATE AS RECOMMENDED BY THE MANUFACTURER (FOR HYDROSEEDING USE FOUR TIMES MANUFACTURER'S RECOMMENDED RATE)  
MULCH: STRAW OR WOOD FIBER MULCH USED WITH A HYDROSEEDING METHOD, AT TWO TONS PER ACRE WITH TACKIFIER

17. ALL SEEDED AREAS ARE TO BE MONITORED FOR GERMINATION AND EROSION. ERODED AREAS ARE TO BE BACKFILLED, FINE GRADED AND RE-SEED. AREAS THAT FAIL TO GERMINATE A MINIMUM OF 80% SHALL BE RE-SEED.

18. ANY EXCAVATIONS THAT MUST BE DEWATERED SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE BEFORE ENTERING AN ACTIVE DRAINAGE SYSTEM OR DISPERSED TO AN UNDISTURBED AREA.

19. THE HOME BUILDER SHALL BE RESPONSIBLE FOR IMPLEMENTING INDIVIDUAL LOT EROSION CONTROL MEASURES AS SHOWN ON THE PLAN DETAIL FOR INDIVIDUAL HOUSE CONSTRUCTION. THE MEASURES ARE TO REMAIN IN PLACE UNTIL HOUSE CONSTRUCTION IS COMPLETE AND THE LAWN IS ESTABLISHED.

20. THE OWNER SHALL BE RESPONSIBLE FOR REMOVING EXISTING EROSION CONTROL MEASURES THAT ARE LOCATED WITHIN ESTABLISHED AREAS. MATERIALS ARE TO BE DISPOSED OF PROPERLY.

21. UPON COMPLETION OF CONSTRUCTION AND FINAL STABILIZATION THE OWNER MAY FILE A NOTICE OF TERMINATION (NOT) WITH NYSDEC PER THE REQUIREMENTS OF THE GENERAL PERMIT GP-0-20-001.

NOT APPROVED

This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

COMMISSIONER OF PUBLIC WORKS	
BY: _____	DATE: _____
TOWN ASSESSOR	
BY: _____	DATE: _____
FIRE MARSHAL	
BY: _____	DATE: _____
PLANNING BOARD CHAIRMAN	
BY: _____	DATE: _____
WEBSTER SEWER DISTRICT	
BY: _____	DATE: _____
MONROE COUNTY WATER AUTHORITY	
BY: _____	DATE: _____
HIGHWAY SUPERINTENDENT	

MONROE COUNTY DEPARTMENT OF HEALTH STANDARD WATER MAIN EXTENSION NOTES:

- THE WATER MAIN PIPELINE SHALL BE DISINFECTED EQUAL TO AWWA STANDARD FOR DISINFECTING WATER MAINS C651 (LATEST REVISION). FOLLOWING DISINFECTION, THE WATER MAIN PIPELINE SHALL BE FLUSHED UNTIL THE CHLORINE CONCENTRATION IN THE WATER LEAVING THE MAIN IS NO HIGHER THAN THAT GENERALLY PREVAILING IN THE SYSTEM.
- ALL WATER MAIN PIPE FITTINGS NOT RECEIVING 24-HOUR CHLORINE DISINFECTION CONTACT TIME MUST BE SWAB-DISINFECTED 30 MINUTES PRIOR TO INSTALLATION.
- THE SAMPLING POINT(S) MUST BE DECONTAMINATED BY FLAMING.
- FIRE HYDRANTS ARE NOT ACCEPTABLE SAMPLING POINTS.

THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH MUST RECEIVE AT LEAST 48-HOUR ADVANCE NOTIFICATION REQUESTING SAMPLING SERVICES. SAMPLING WILL NOT BE PERFORMED PRIOR TO RECEIPT FROM A NEW YORK STATE LICENSED OR REGISTERED DESIGN PROFESSIONAL (ENGINEER, ARCHITECT OR LAND SURVEYOR WITH A SPECIAL EXEMPTION UNDER SECTION 7208(N) OF THE EDUCATION LAW) CERTIFYING THAT THE WATER SUPPLY IMPROVEMENTS, TESTING AND DISINFECTION PROCEDURES WERE COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS, REPORTS, SPECIFICATIONS AND ANY APPROVED AMENDMENTS. THE DEPARTMENT WILL COLLECT SAMPLES FOR FREE CHLORINE RESIDUAL, TOTAL COLIFORM, ESCHERICHIA COLI (E. COLI) AND TURBIDITY.

- THE WATER MAIN PIPE AND APPURTENANCES SHALL NOT BE PLACED INTO SERVICE UNTIL SO AUTHORIZED BY THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH.
- MINIMUM VERTICAL SEPARATION BETWEEN WATER MAIN PIPELINES AND SEWER PIPELINES SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. ONE FULL STANDARD LAYING LENGTH OF WATER MAIN PIPE SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PIPELINE PASSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING OF THE SEWER ON THE WATER MAIN. MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER MAIN PIPES AND SEWER PIPES (INCLUDING MANHOLES AND VALVES) SHALL BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES, MANHOLES OR VALVES.
- WHEN INSTALLING FIRE HYDRANTS, SHOULD GROUND WATER BE ENCOUNTERED WITHIN SEVEN (7) FEET OF THE FINISHED GRADE, FIRE HYDRANT WEEP HOLES (DRAINS) SHALL BE PLUGGED.
- THE WATER MAIN PIPELINE AND APPURTENANCES SHALL BE PRESSURE/LEAKAGE TESTED IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE AWWA STANDARD C600, C602, C604, OR C605 (MOST RECENT VERSION AS APPLICABLE) OR IN ACCORDANCE WITH MORE STRINGENT REQUIREMENTS IMPOSED BY THE SUPPLIER OF WATER.

MONROE COUNTY DEPARTMENT OF HEALTH STANDARD SANITARY SEWER EXTENSION NOTES:

- MAXIMUM ALLOWABLE INFILTRATION OR EXFILTRATION SHALL NOT EXCEED 100 GALLONS PER INCH DIAMETER PER MILE OF PIPE PER DAY FOR THE SANITARY SEWER. IF AN AIR TEST IS USED, THE TEST AS A MINIMUM SHALL CONFORM TO THE PROCEDURE DESCRIBED IN ASTM DESIGNATION C828-86 ENTITLED PRACTICE FOR LOW-PRESSURE AIR TEST OF VITRIFIED CLAY PIPE LINES. SANITARY MANHOLES SHALL BE VISUALLY INSPECTED AND TESTED FOR LEAKAGE BY EXFILTRATION OR VACUUM. VACUUM TESTING OF MANHOLES SHALL COMPLY WITH THE METHOD OUTLINED IN THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION - TECHNICAL INFORMATION PAMPHLET (TIP) NO. 15 (LATEST REVISION).
- FLOOR DRAINS, IF CONSTRUCTED IN THE PROJECT, MUST BE CONNECTED TO THE SANITARY SEWER. NOTE: FLOOR DRAINS DO NOT INCLUDE FOUNDATION OR FOOTER DRAINS INSTALLED TO INTERCEPT UNCONTAMINATED GROUND WATER. ALL DISCHARGES FROM THE FLOOR DRAINS TO THE SANITARY SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR THE MONROE COUNTY SEWER USE LAW.
- DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPE. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5% IF THE DEFLECTION TEST IS TO BE RUN USING A RIGID BALL OR MANDREL, IT SHALL HAVE A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.
- MINIMUM VERTICAL SEPARATION BETWEEN WATER MAINS AND SEWER LINES SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. ONE FULL STANDARD LAYING LENGTH OF WATER MAIN PIPE SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PIPELINE PASSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING OF THE SEWER ON THE WATER MAIN. MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER MAINS PIPES AND SEWER PIPES (INCLUDING MANHOLES AND VALVES) SHALL BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES, MANHOLES OR VALVES.

PUBLIC WATER SYSTEM NOTES

Water mains and appurtenances to be constructed in accordance with the regulations and specifications of the Water Authority:

- Material:
- Water main(s) shall be 8" -inch ductile iron cement-lined Class 52, (ZINC-COATED)
  - Water service(s) shall be -inch Type K Copper from the water main to the curb box and -inch (Type K soft Copper or PE #4710) from the curb box to the meter.
  - Water meter(s) shall be located on the interior of exterior walls immediately upon service entrance into the building(s). On metered services requiring a 1 1/2-inch or larger meter a bypass around the meter is required.
- All gate valves shall have stainless steel body and bonnet bolts.
- Tests:
- Soil Test: The contractor shall provide a soil test evaluation to determine the need for polyethylene encasement per ANSI/AWWA C105/AZI 5-82 prior to water main installation. Soil testing shall be conducted by an approved soil testing laboratory in accordance with Water Authority standards.
  - Pressure Test: Water mains to be pressure tested in accordance with the latest Water Authority specifications. A Water Authority representative must witness this test.
  - Health Sample: The water main shall be disinfected equal to AWWA Standard Specifications, designation C-651, by using the continuous feed method. After flushing and disinfecting the water main, water samples shall be collected from the main by the Health Department with jurisdiction of the area. Fire hydrants are not acceptable sampling points. Approval and notification by the Health Department must be received before the main is placed in service.
- Installation:
- Water mains and all water service lines shall have a minimum of five feet of cover from finished grade in lawn areas and a minimum of six feet of cover from finished grade in paved areas.
  - Minimum vertical separation between water main and sewer mains shall be 18" measured from the outside of the pipes at the point of crossing. Minimum horizontal separation between water mains and sewer mains shall be ten feet measured from the outside of the pipes. One full length of water main shall be centered under or over the sewer so that both joints will be as far from the sewer as possible. Where a water main crosses under a sewer, adequate structural support (compacted selected fill) shall be provided for the sewers to prevent excessive deflection of joints and settling on and breaking the water mains.
  - Fire hydrant weep holes (drains) shall be plugged when ground water is encountered within seven feet of the finished grade.
  - All mechanical joint fittings (tees, bends, plugs, etc.) shall be backed with 2500 psi concrete thrust blocks of appropriate size to provide thrust restraint.

Table 5.2 Soil Restoration Requirements		
Type of Soil Disturbance	Soil Restoration Requirement	Comments/Examples
No soil disturbance	Restoration not permitted	Preservation of Natural Features
Minimal soil disturbance	Restoration not required	Cleaning and grubbing
Areas where topsoil is stripped only, no change in grass	HSG A & B Apply 6 inches of topsoil	HSG C&D Aerate* and apply 8 inches of topsoil
Areas of cut or fill	HSG A & B Aerate and apply 6 inches of topsoil	HSG C & D Apply full Soil Restoration **
Heavy traffic areas on site (especially in a zone 5-25 ft around buildings but not within a 5 ft perimeter around foundation walls)	Apply full Soil Restoration** (decompaction and compost enhancement)	
Areas where Runoff Reduction and/or Infiltration practices are applied	Restoration not required but may be applied	Keep construction equipment from crossing these areas. To protect newly installed practices from any ongoing construction activities construct a single-phase operation fence area
Redevelopment projects	Soil Restoration is required on redevelopment projects in areas where existing impervious area will be converted to pervious area	

\*Aeration includes the use of machines such as tractor-drawn implements with coulters making a narrow slit in the soil, a roller with many spikes making indentations in the soil, or prongs which function like a mini-subsoiler.  
\*\* Refer to latest version of NYSDEC Design Planning and Decomposition

Drawing Alteration  
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:  
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way, if an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration."

7	6	5	4	3	2	1	REVISIONS	DATE	BY

**BME ASSOCIATES**  
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS  
WWW.BMEPCOM  
585-377-7360  
10 LIFEBRIDGE LANE EAST  
FAIRPORT, NEW YORK 14540



**1048 SHOECRAFT ROAD**  
PRELIMINARY/FINAL  
TOWN OF WEBSTER, MONROE COUNTY, NEW YORK STATE  
SHOECRAFT ROAD APARTMENTS LLC  
10000 RIVER ROAD  
FAIRPORT, NY 14549

PROJECT LOCATION CLIENT

**PROFILE AND NOTE SHEET**

PROJECT MANAGER  
L. SWEDROCK  
PROJECT ENGINEER  
M. SERENI  
DRAWN BY  
A. D'ANGELO  
SCALE  
N.T.S.  
PROJECT NO.  
DATE ISSUED  
MARCH 11, 2025

PHILIPS & GORHAM PURCHASE, TOWNSHIP 13, RANGE 4, TOWN LOT 60, TAX MAP NUMBER 079.19-1-15

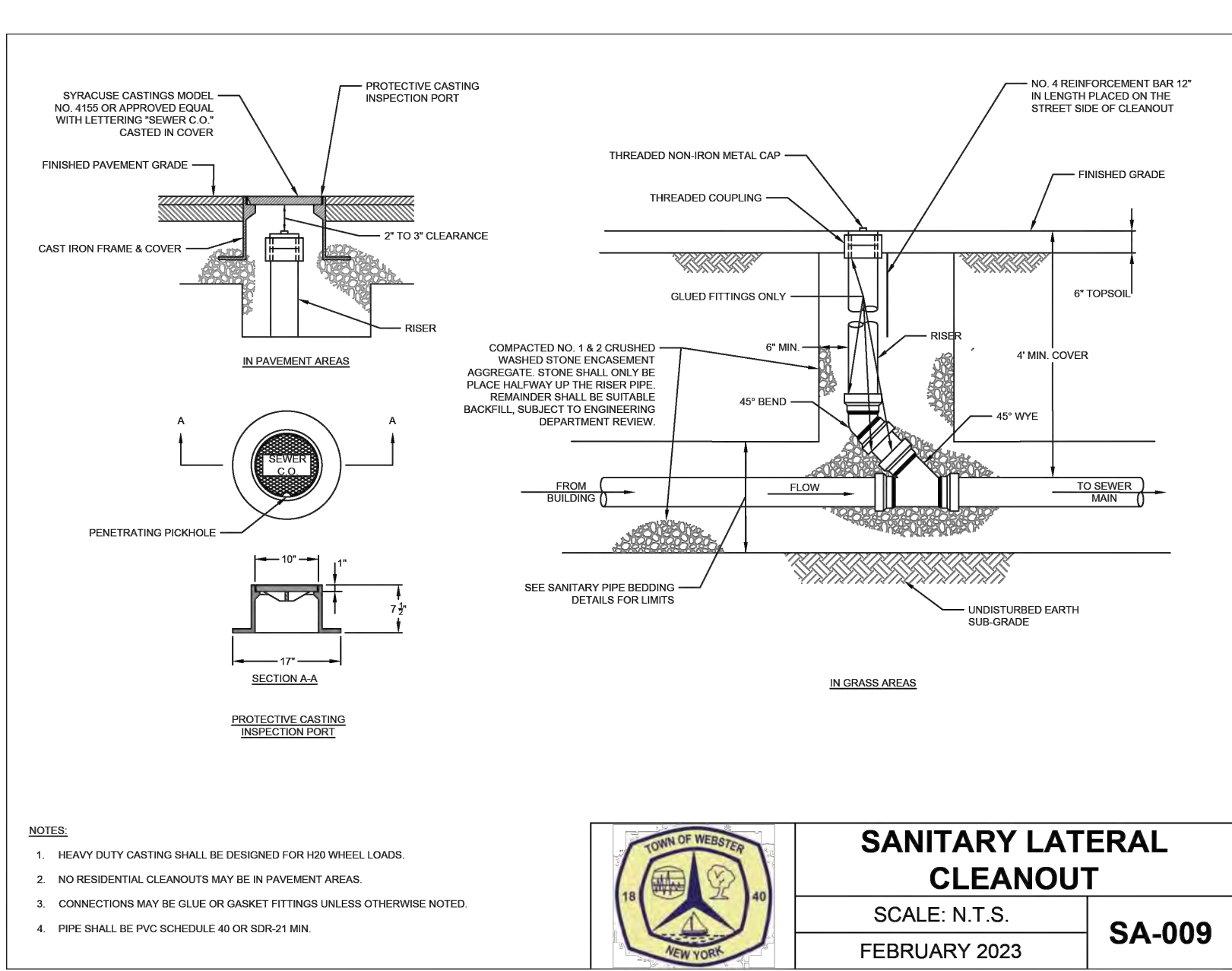
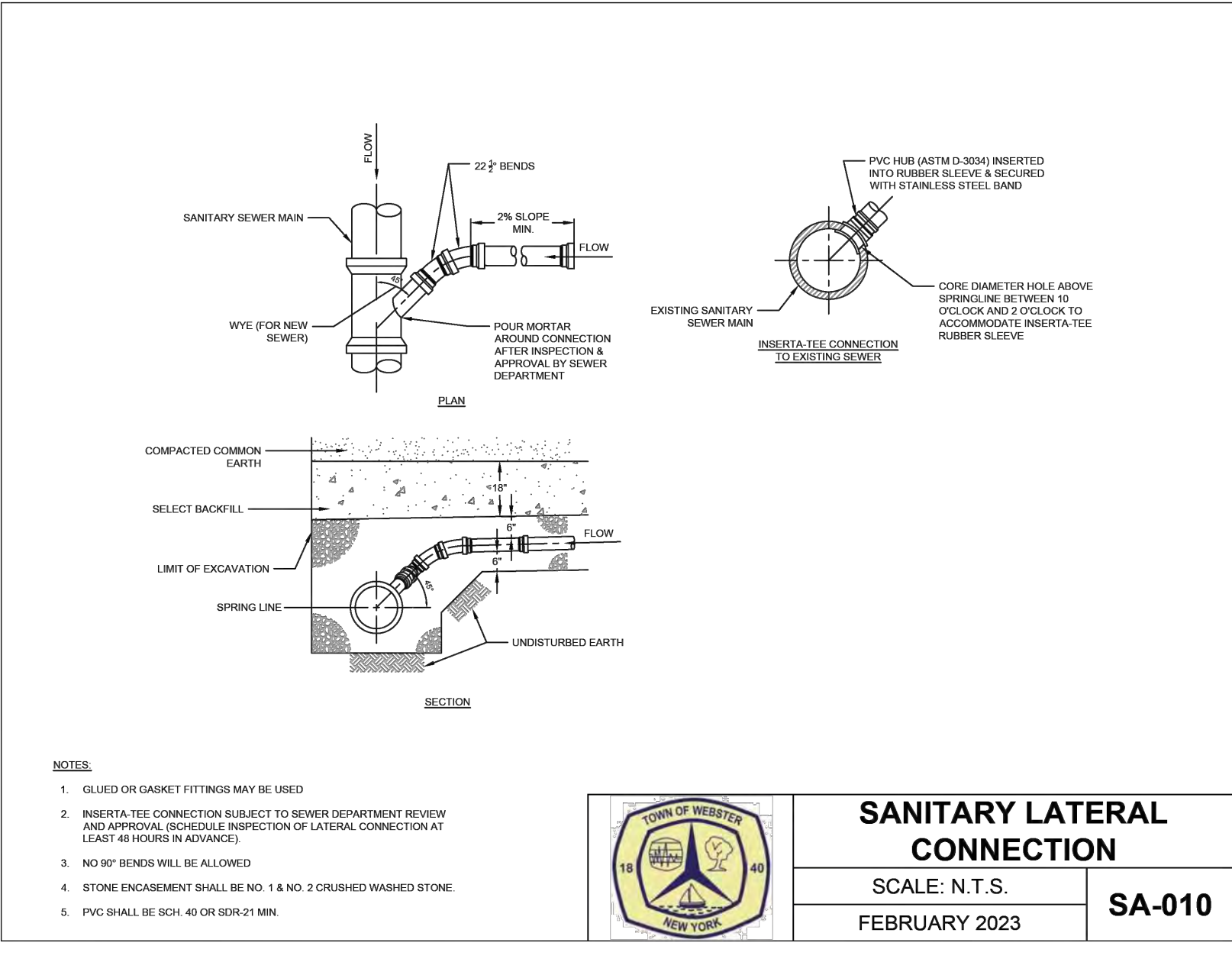
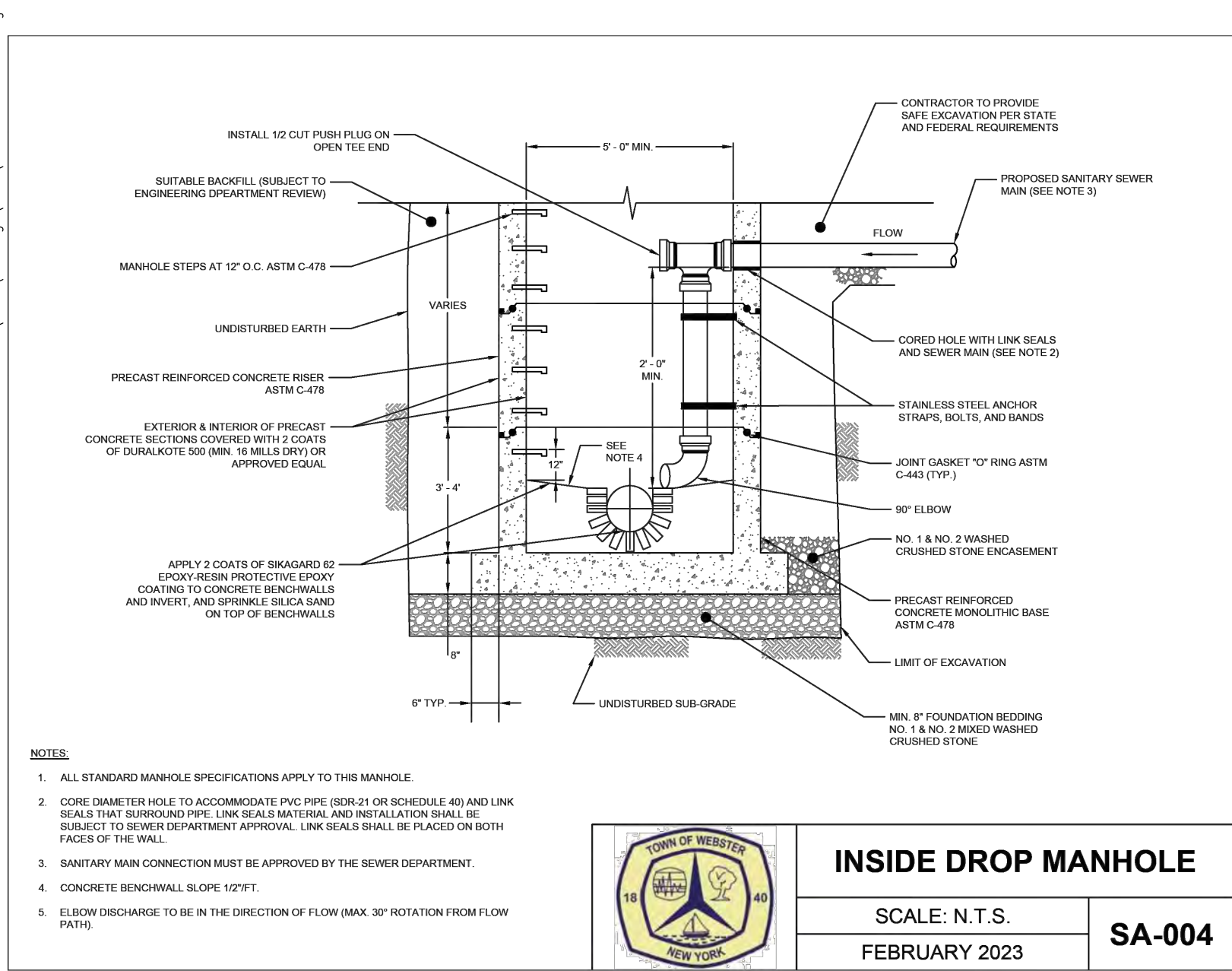
COMMISSIONER OF PUBLIC WORKS  
BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
TOWN ASSESSOR  
BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
FIRE MARSHAL  
BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
PLANNING BOARD CHAIRMAN  
BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
WEBSTER SEWER DISTRICT  
BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
MONROE COUNTY WATER AUTHORITY  
BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
HIGHWAY SUPERINTENDENT

2961  
DRAWING NO.  
08







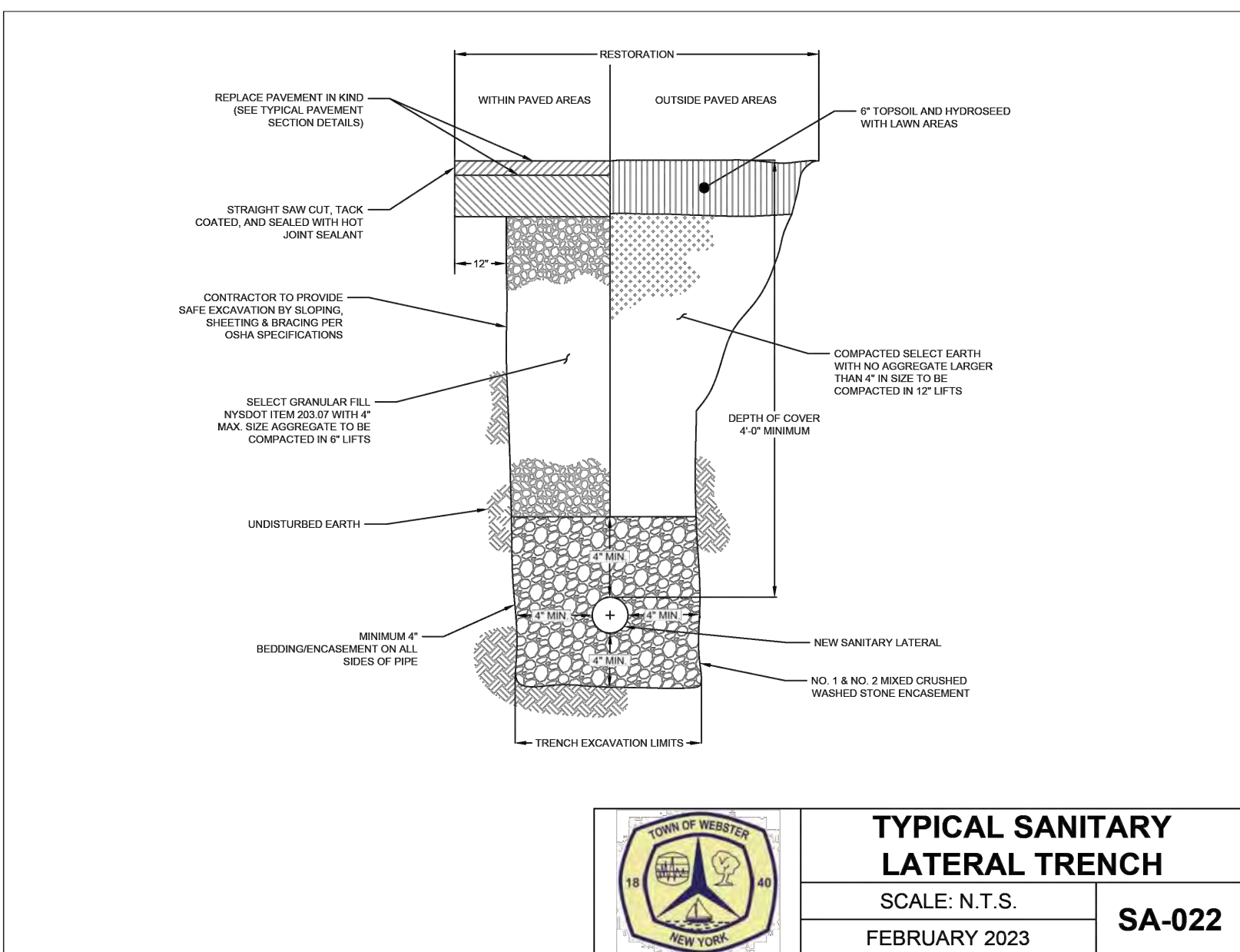
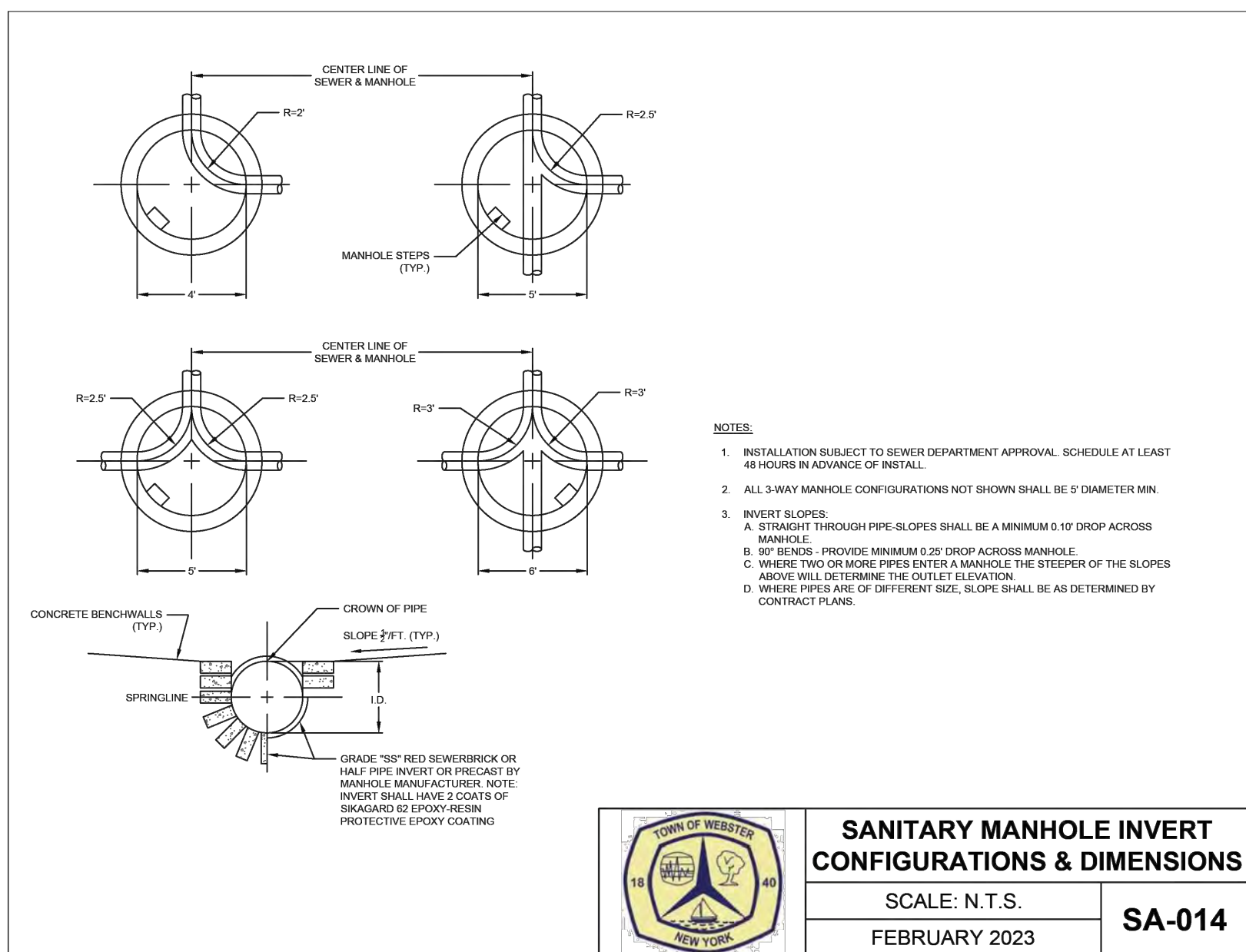
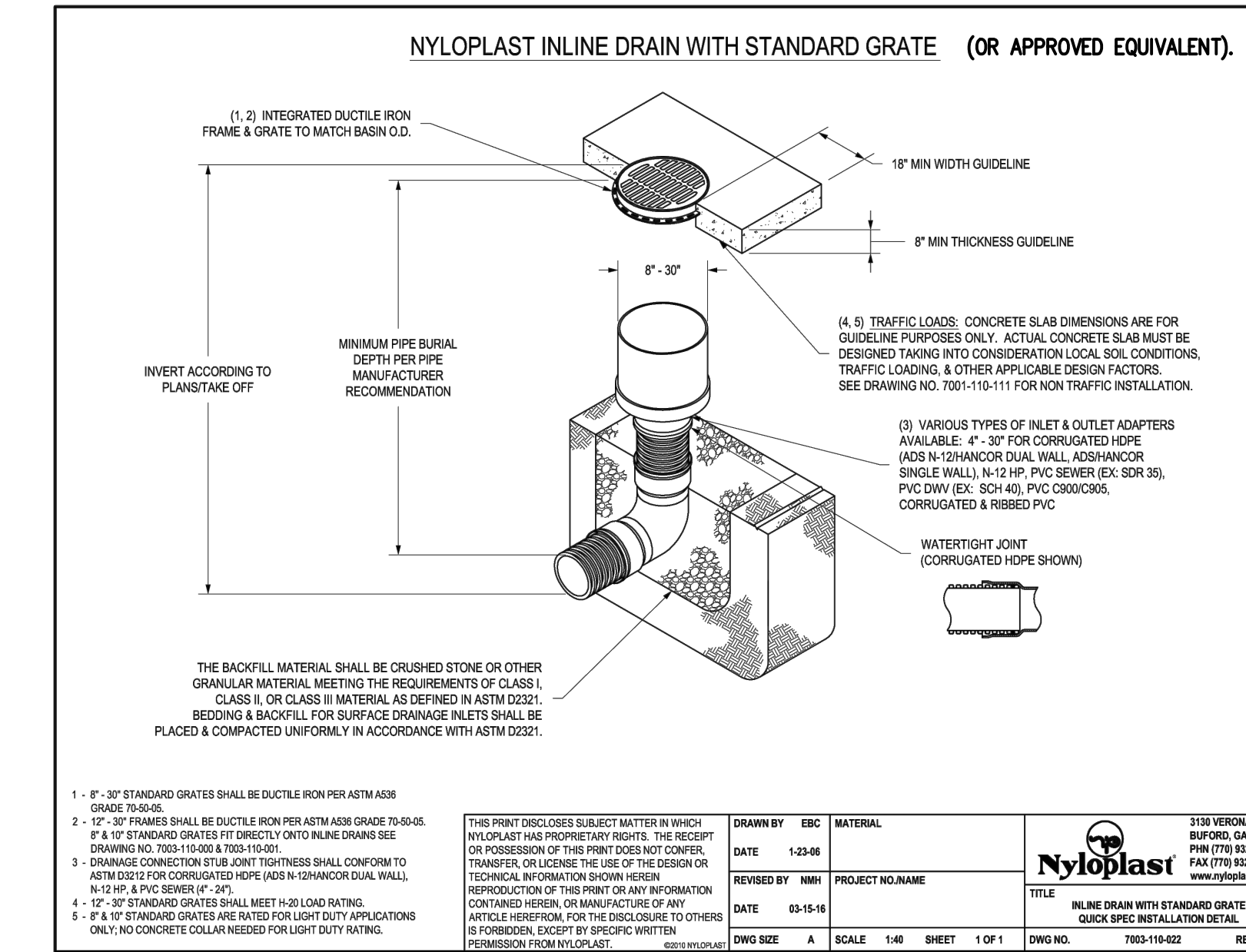
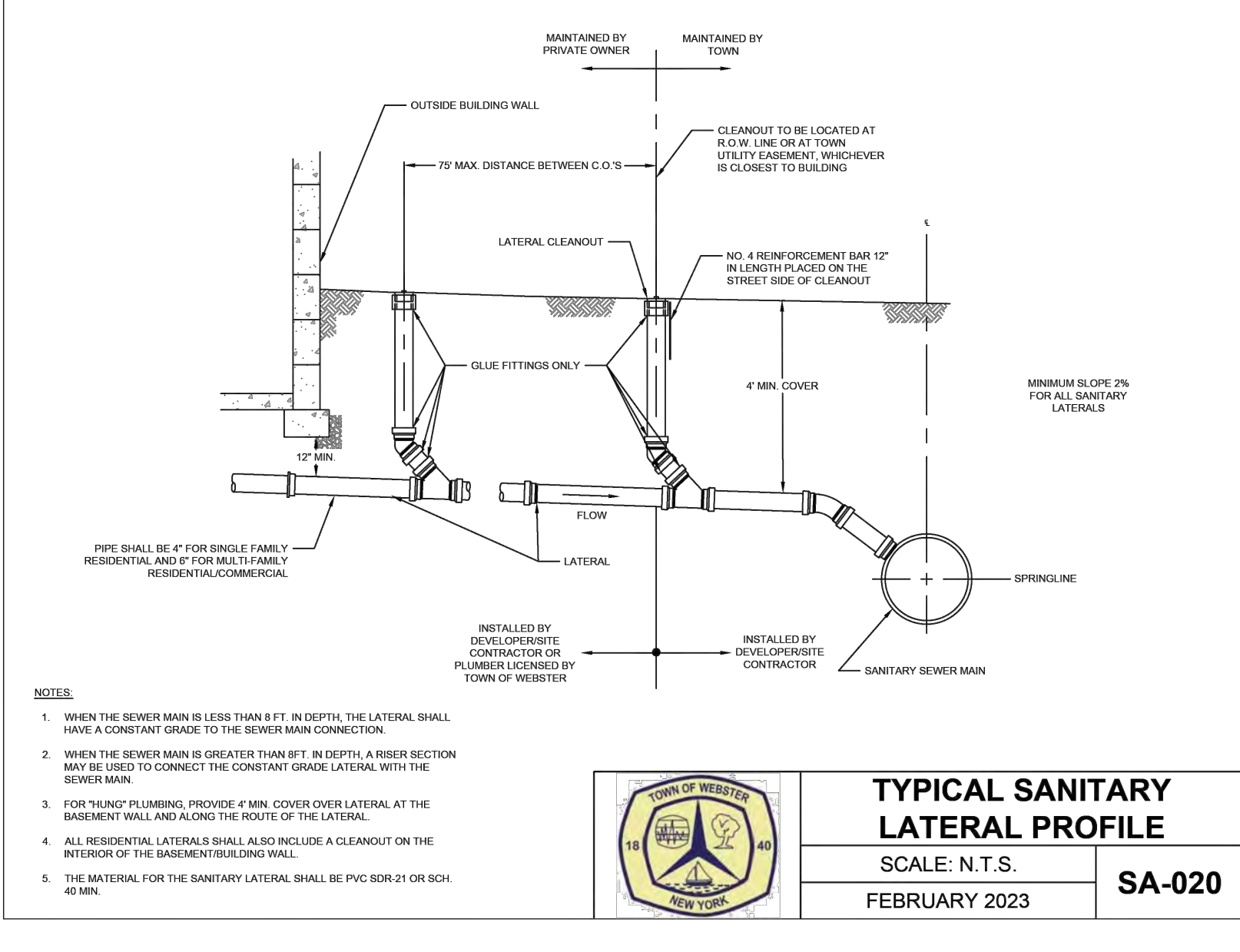
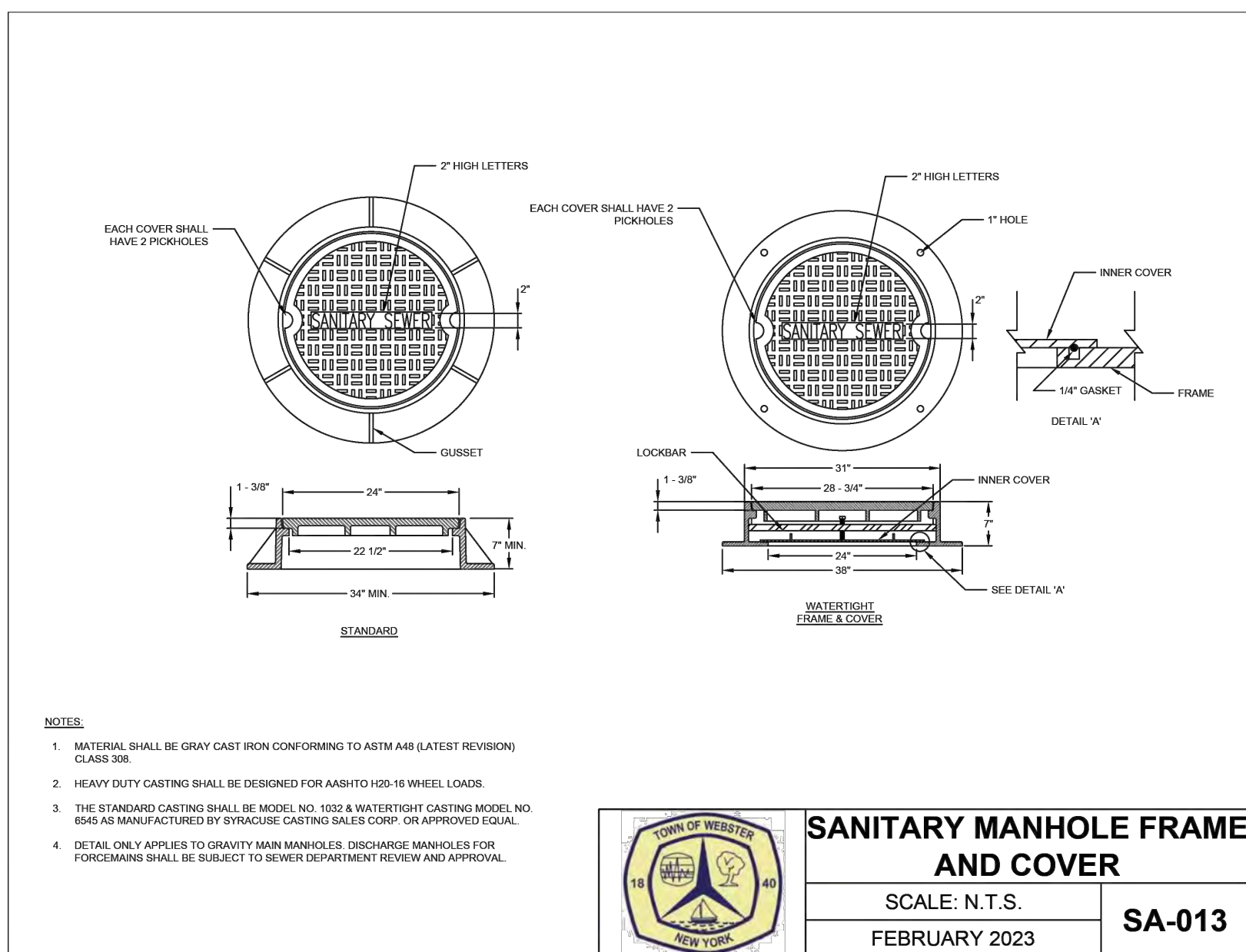


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		REVISIONS	DATE BY



NOT APPROVED

This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

### APPROVALS

BY: _____	DATE: _____
TOWN ENGINEER	
BY: _____	DATE: _____
TOWN DIRECTOR OF COMMUNITY DEVELOPMENT	
BY: _____	DATE: _____
TOWN ASSESSOR	
BY: _____	DATE: _____
FIRE MARSHAL	
BY: _____	DATE: _____
PLANNING BOARD CHAIRMAN	
BY: _____	DATE: _____
WEBSTER SEWER DISTRICT	
BY: _____	DATE: _____
HIGHWAY SUPERINTENDENT	

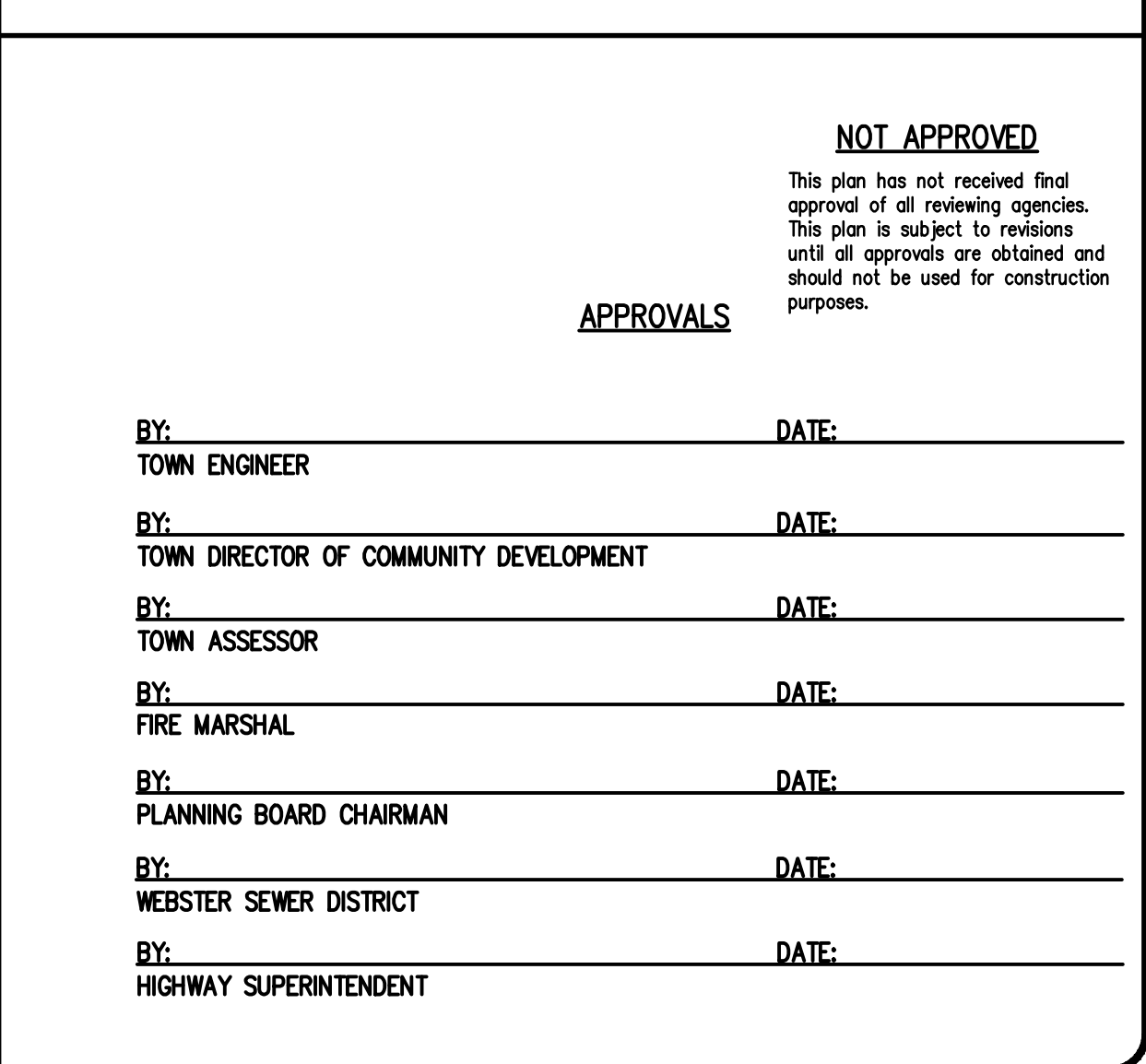
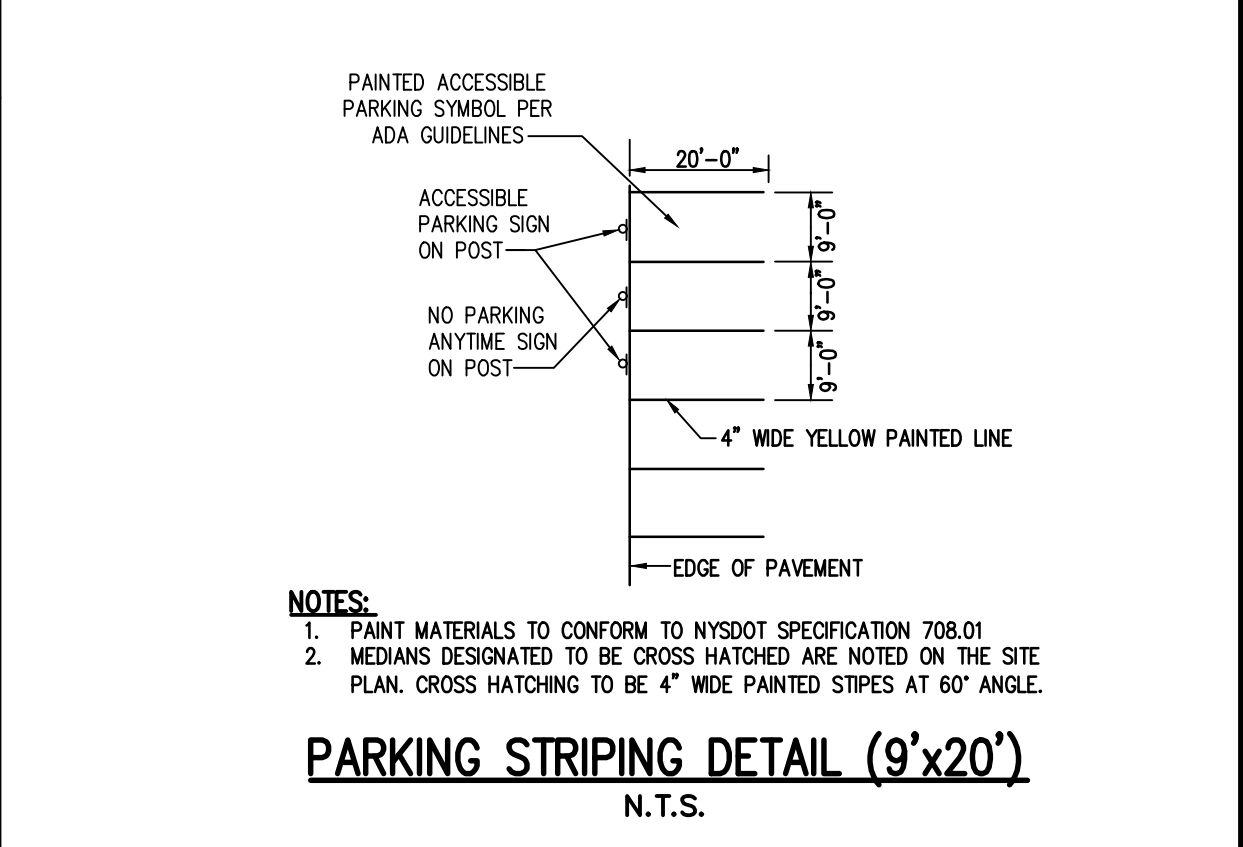
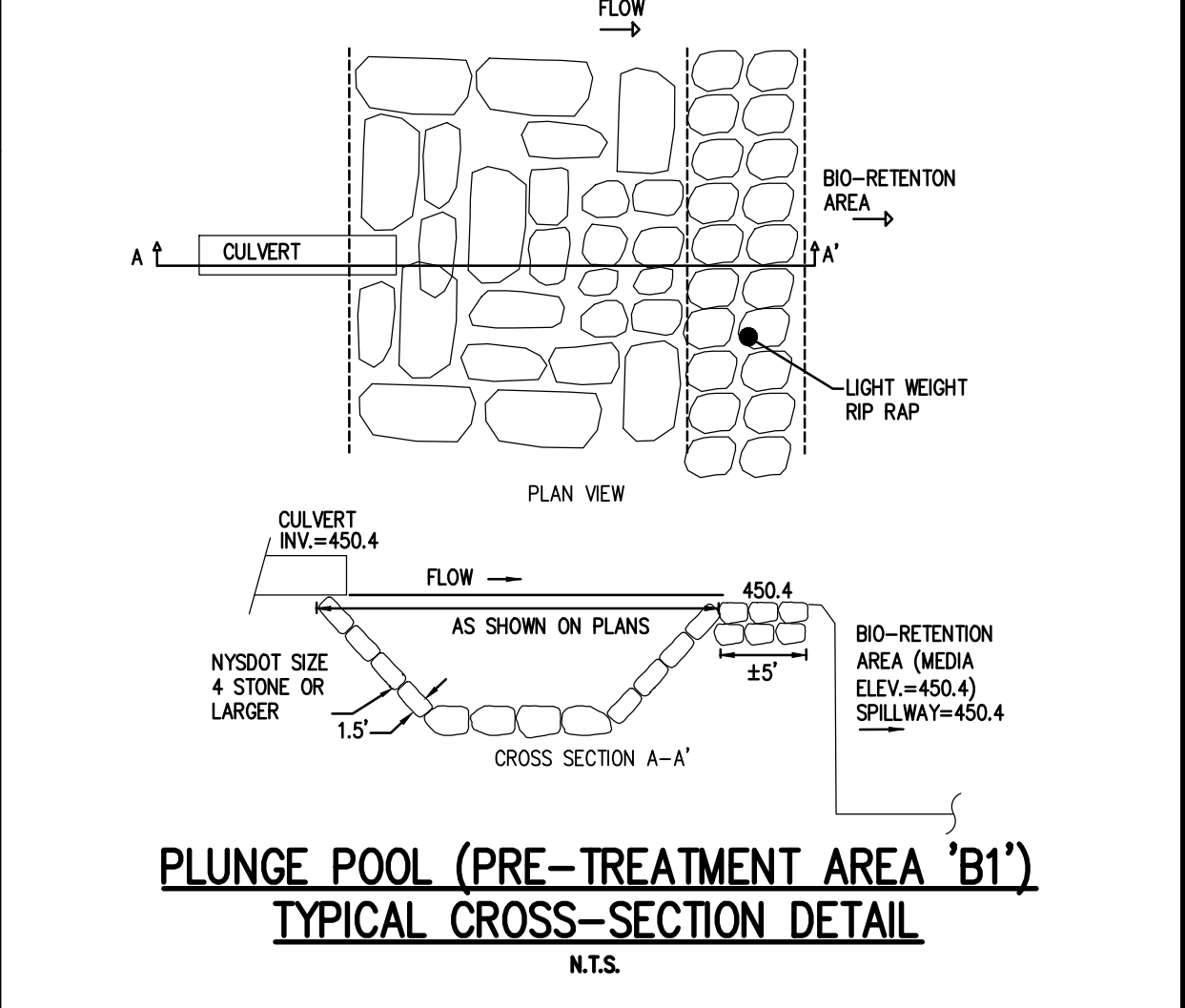
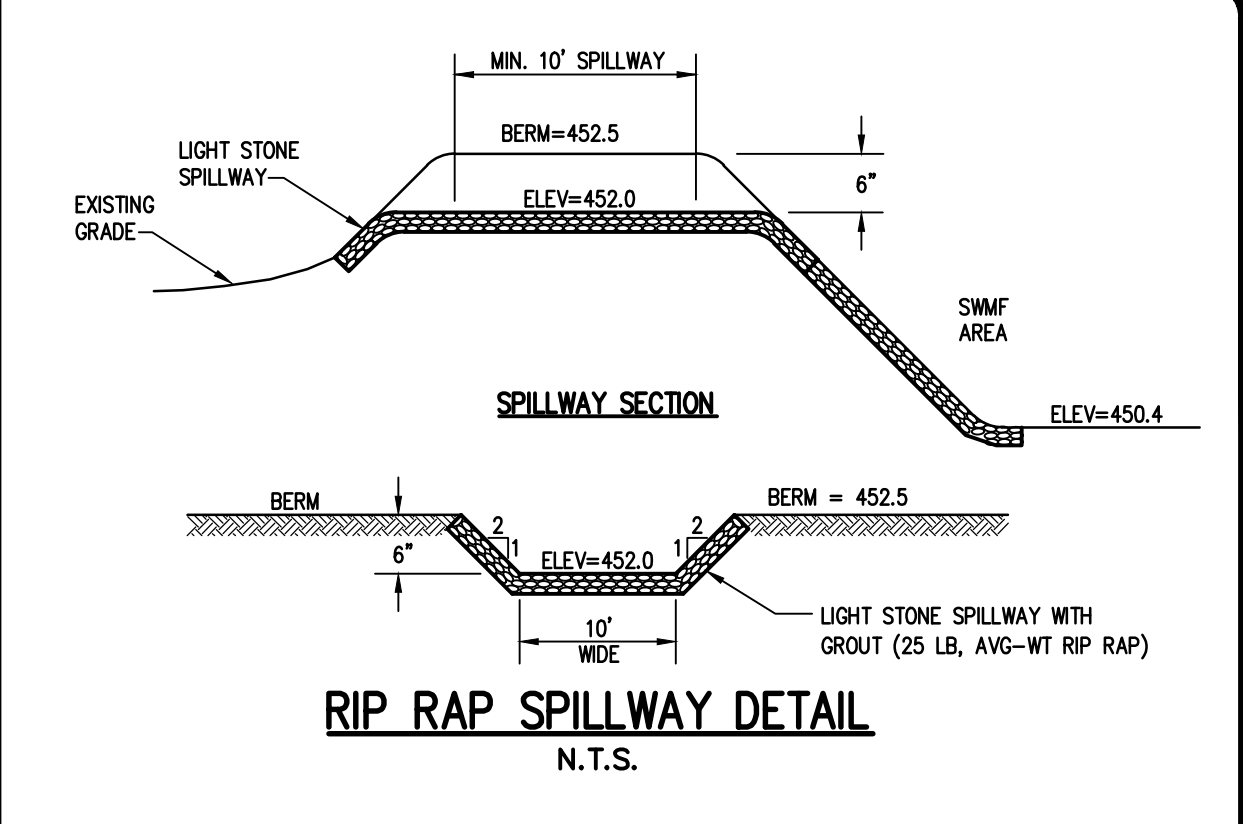
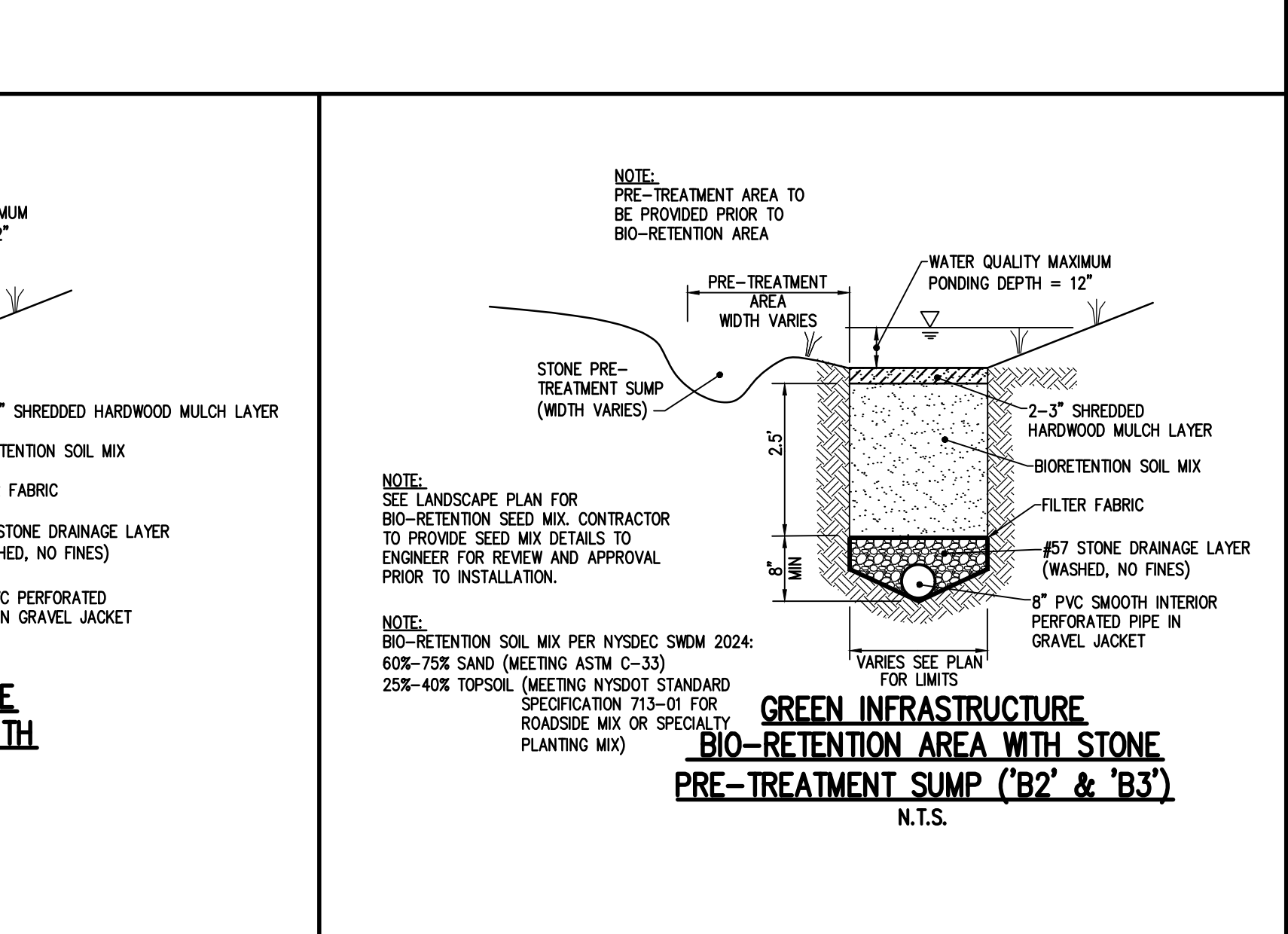
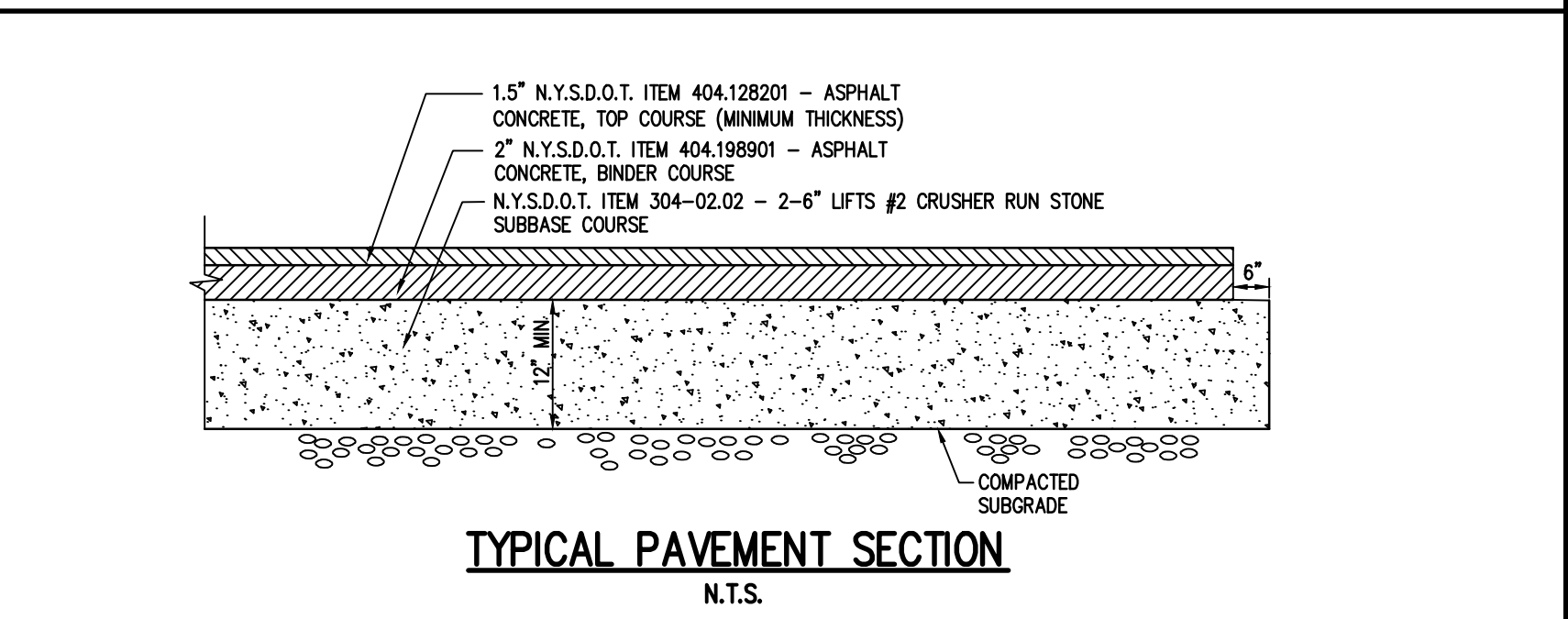
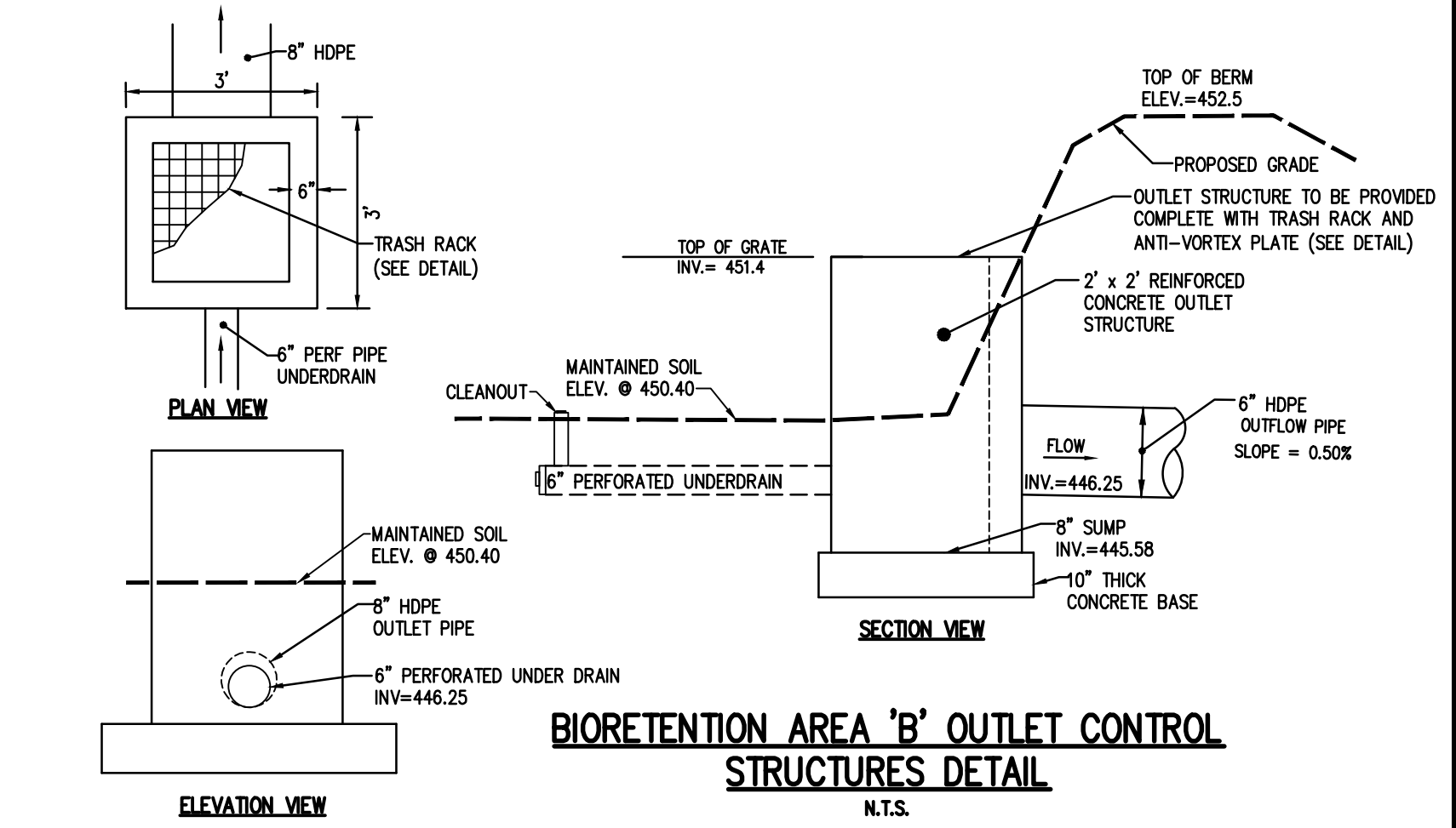
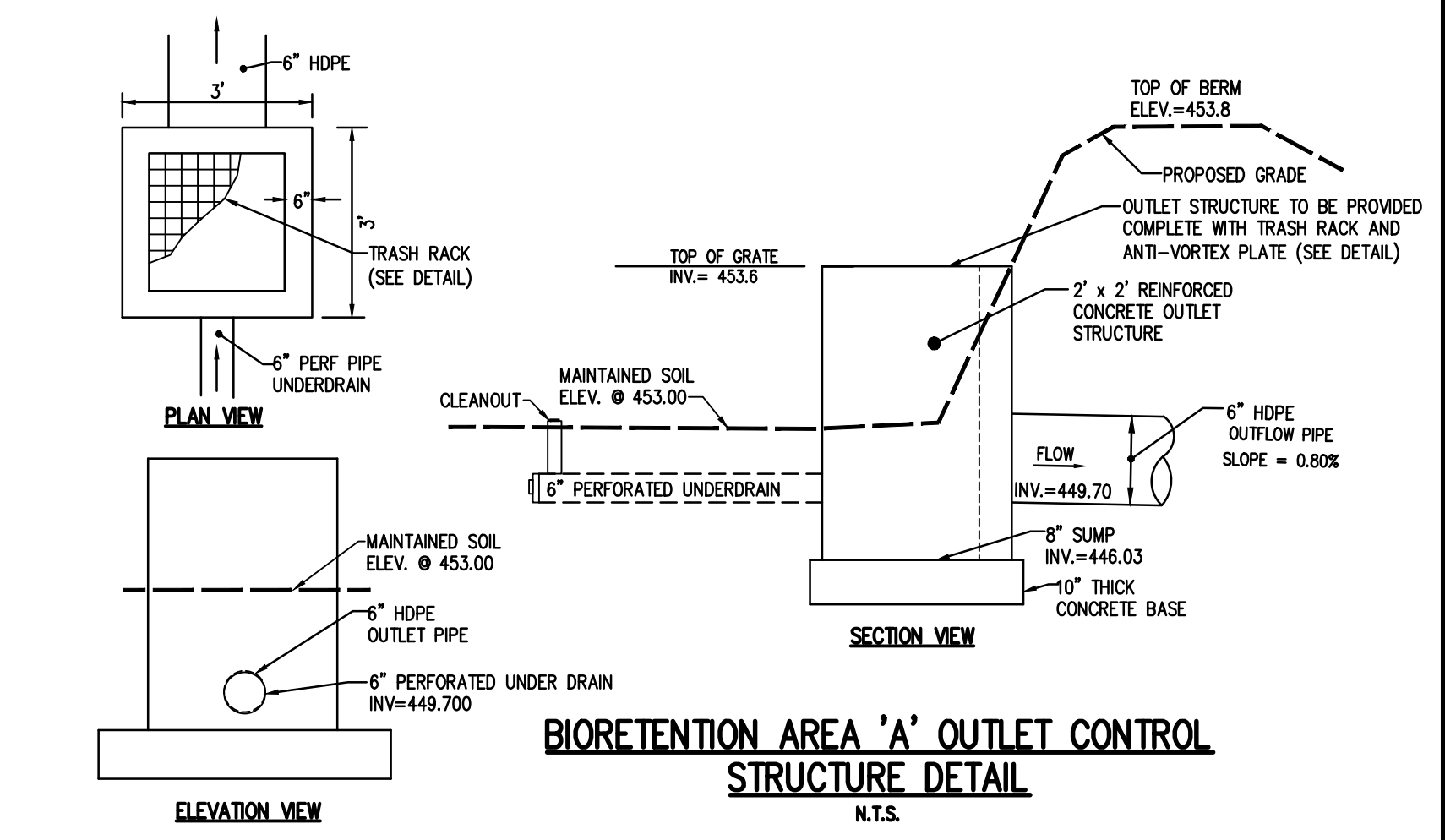
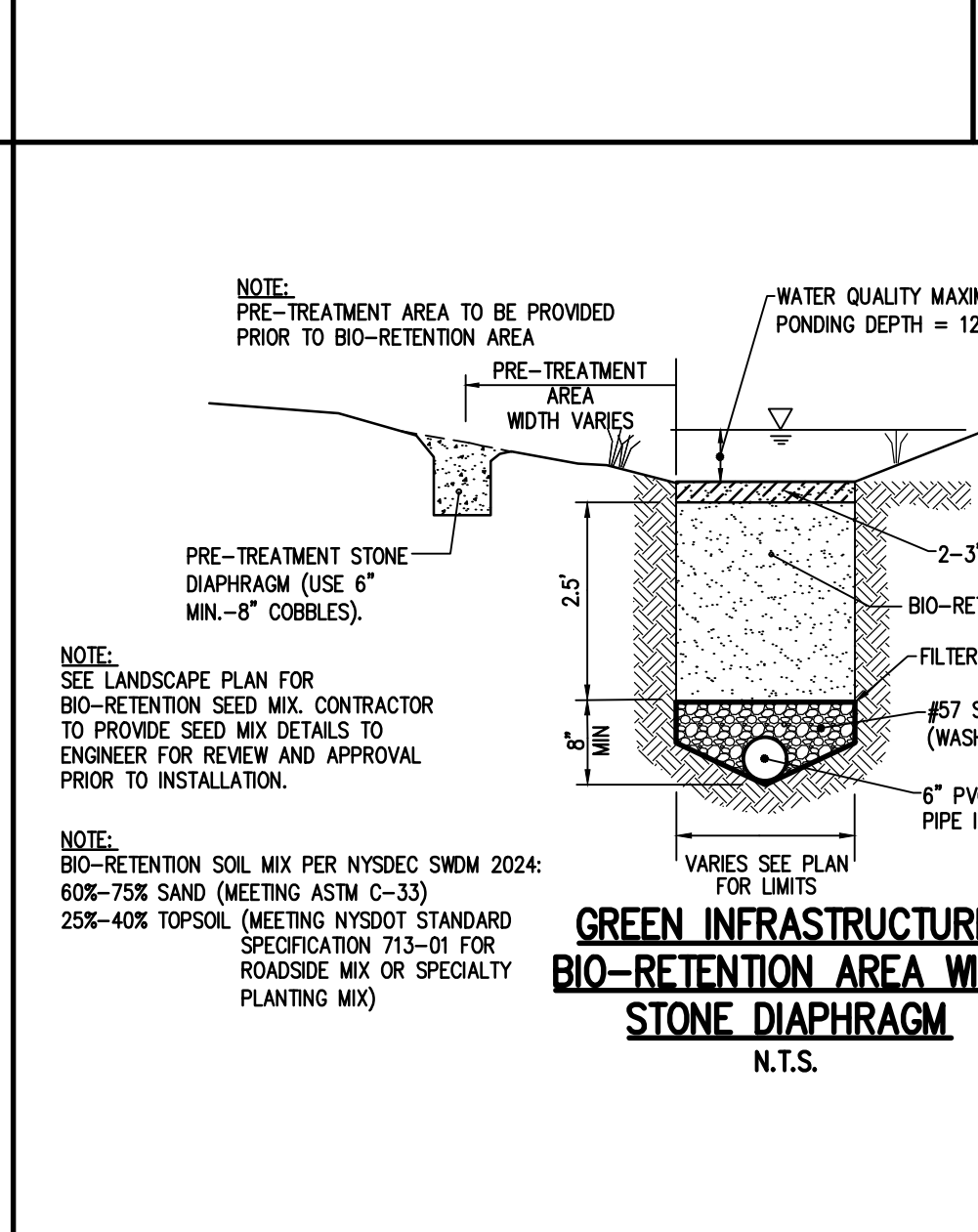
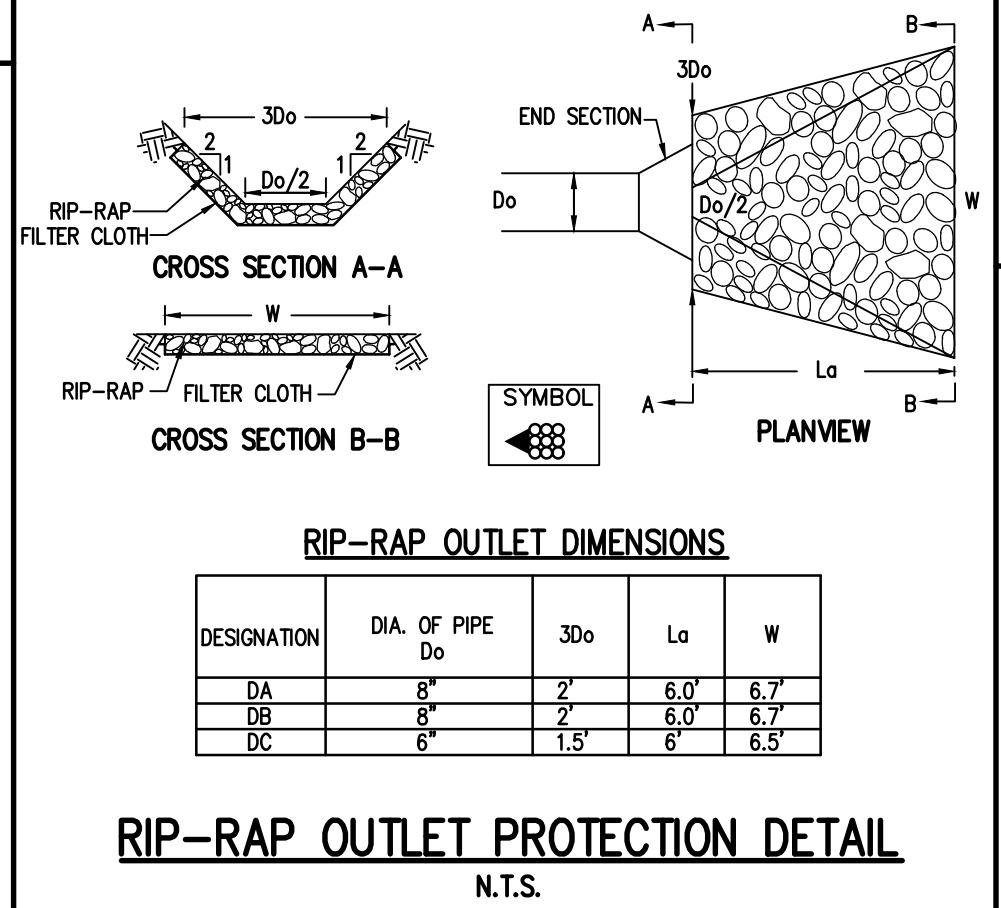
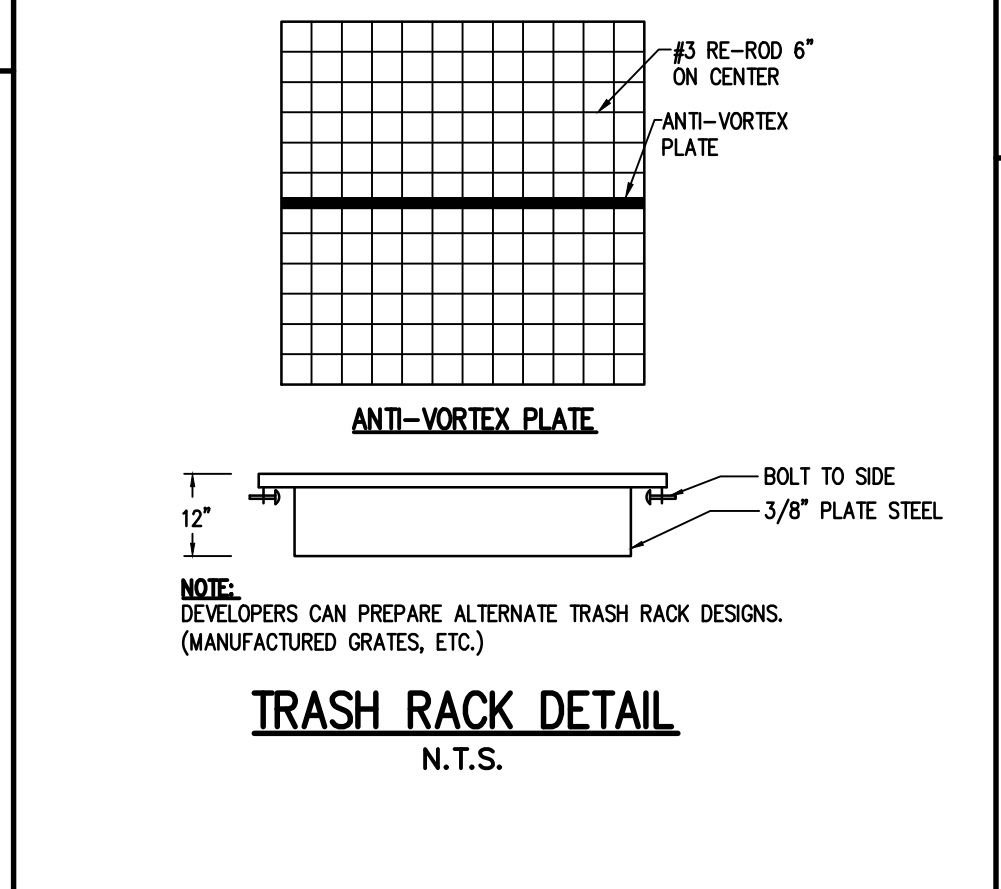
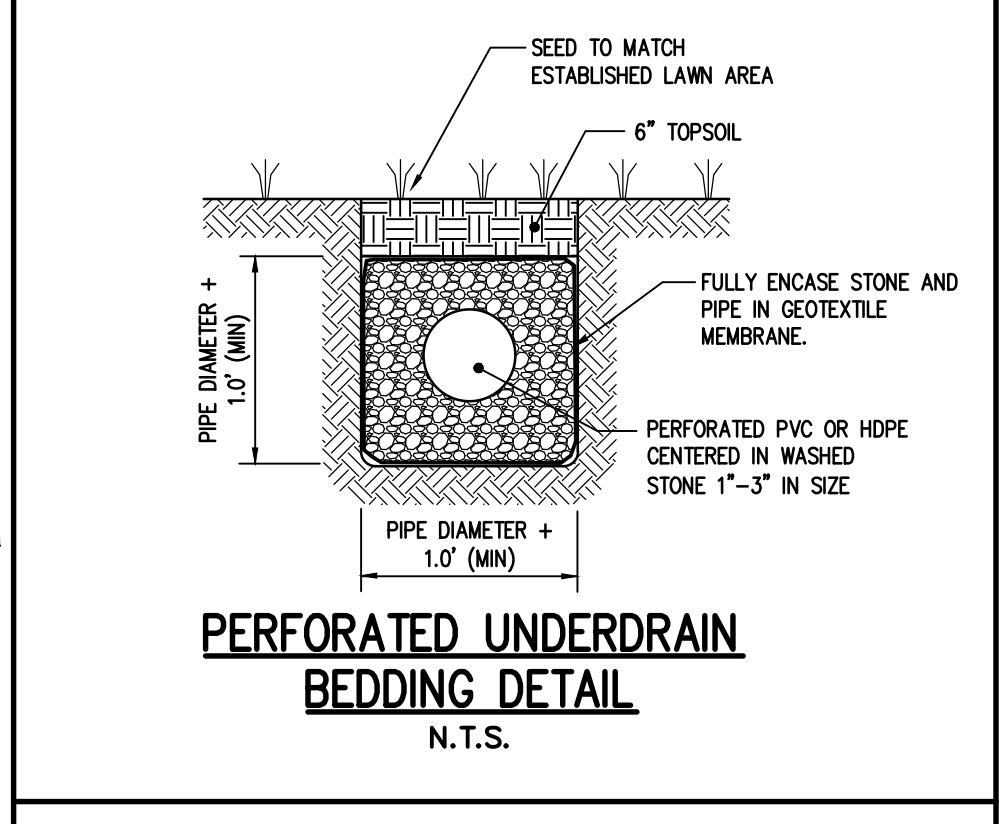
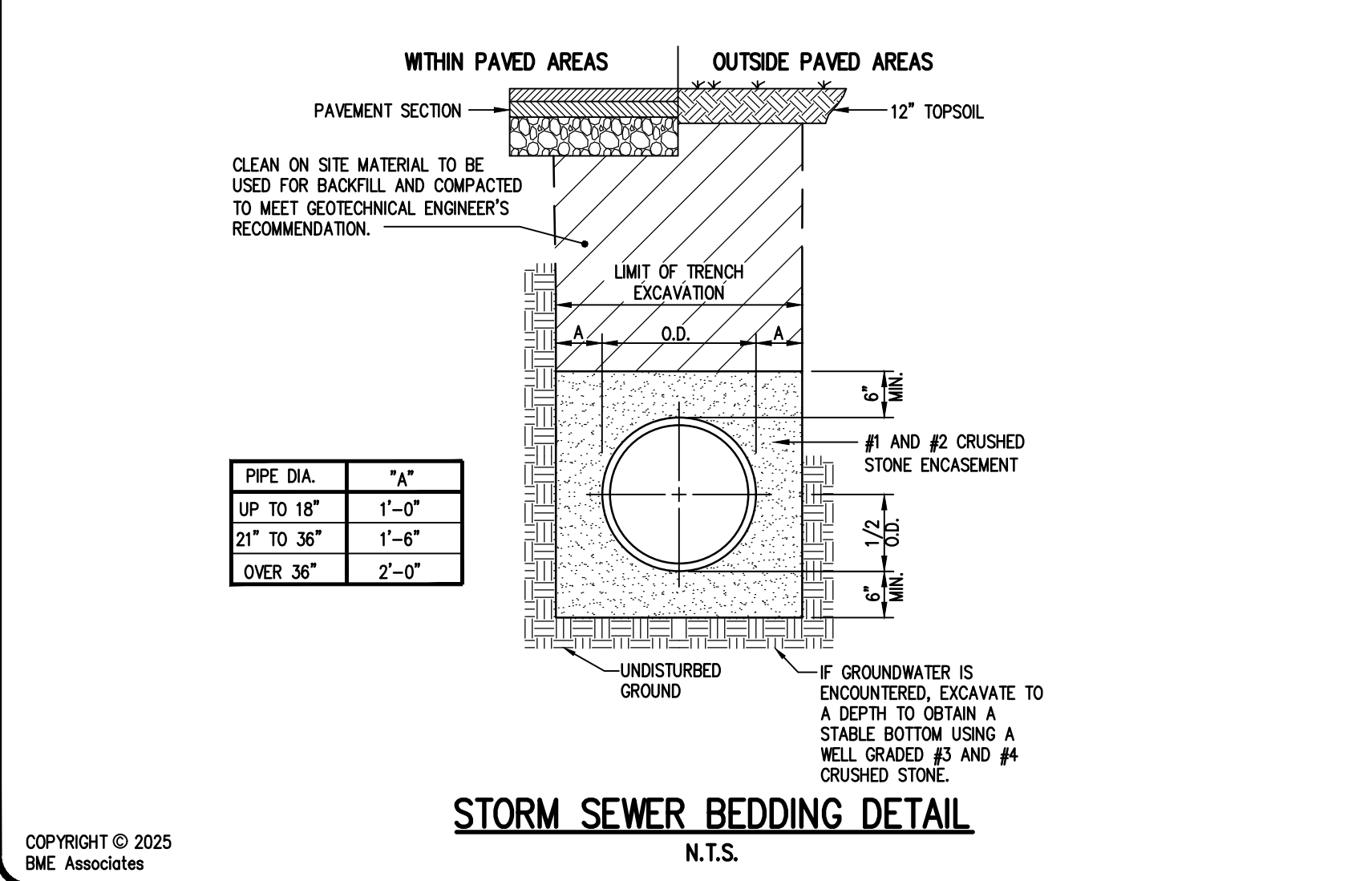
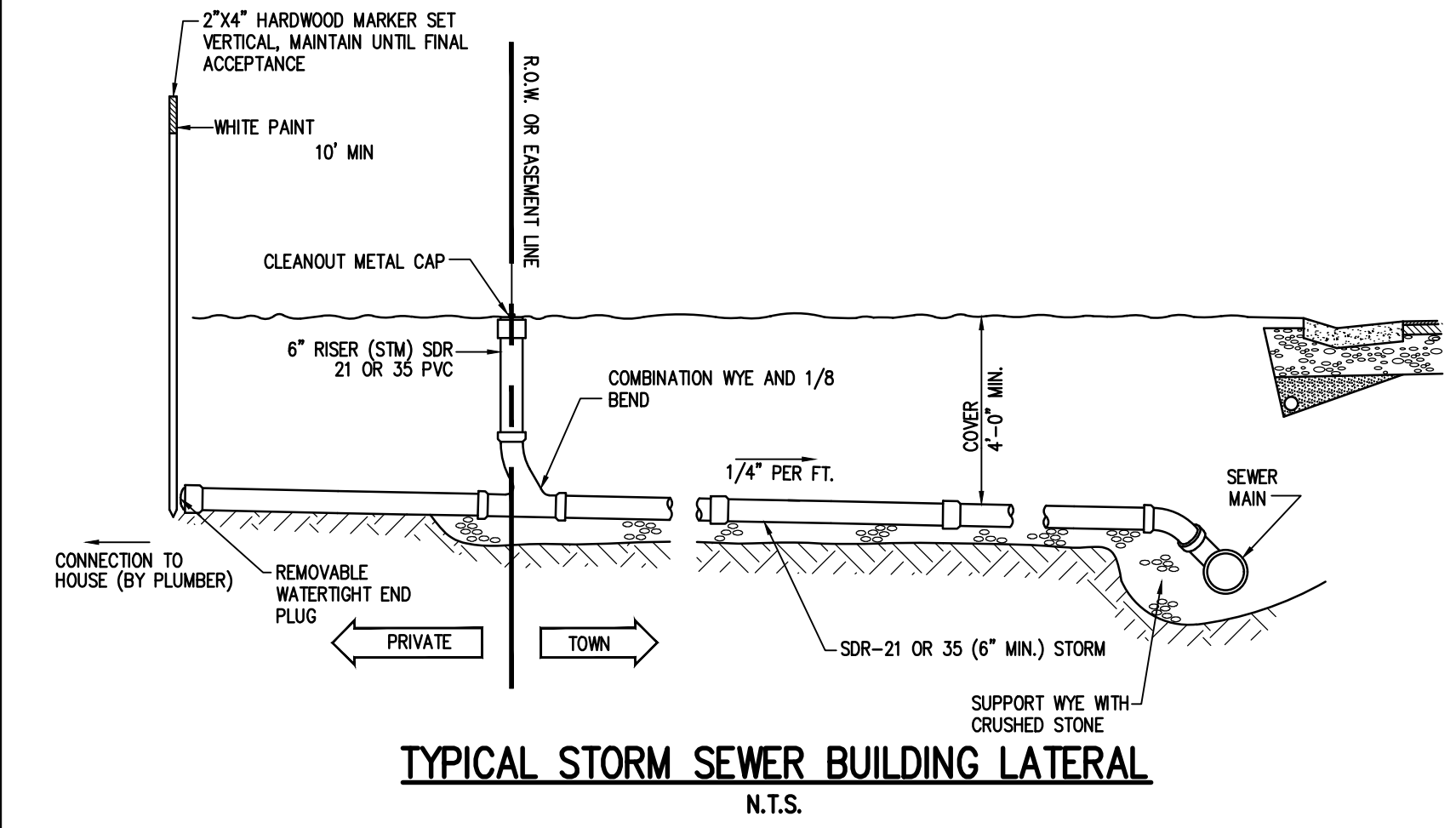
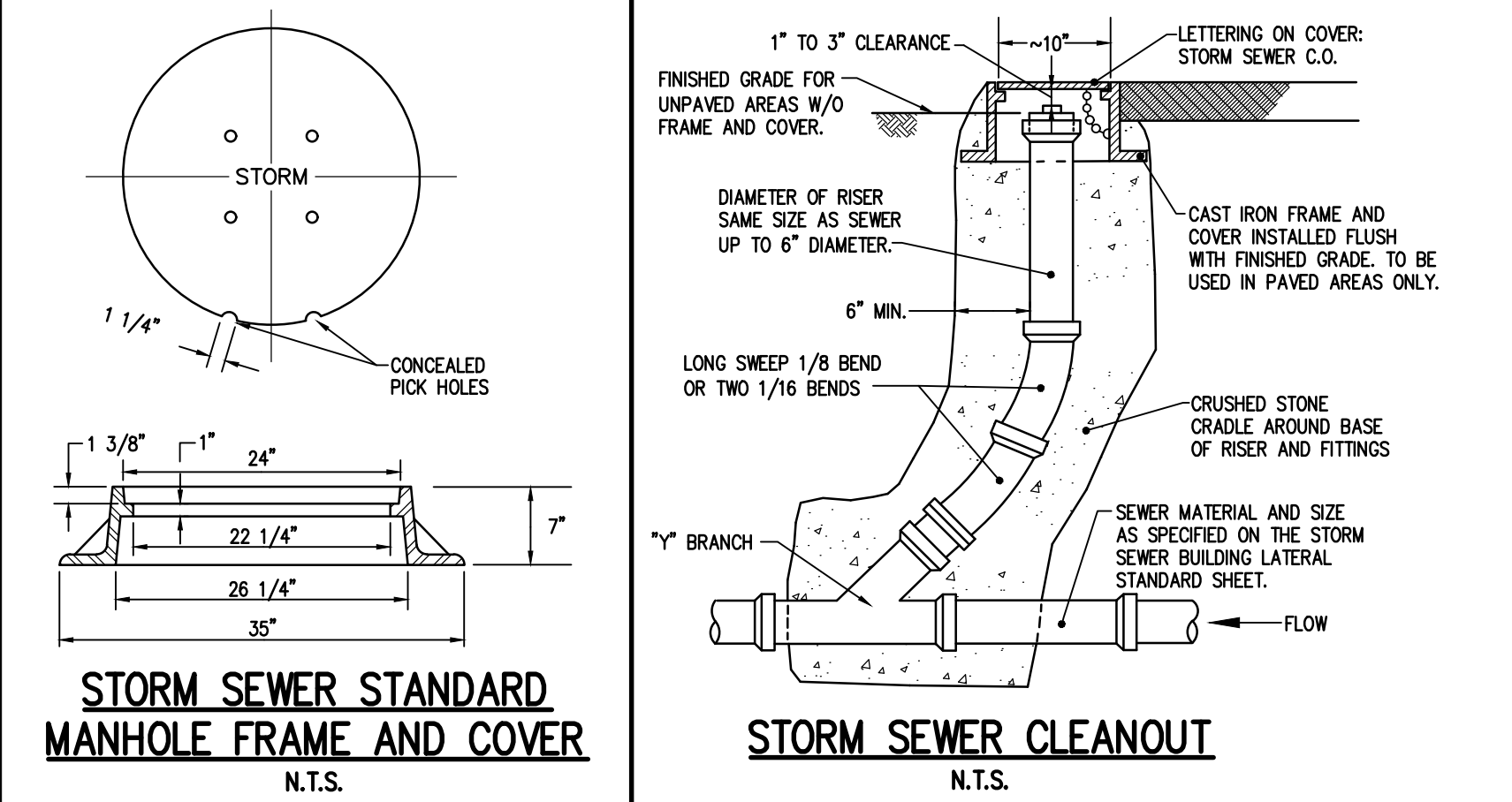
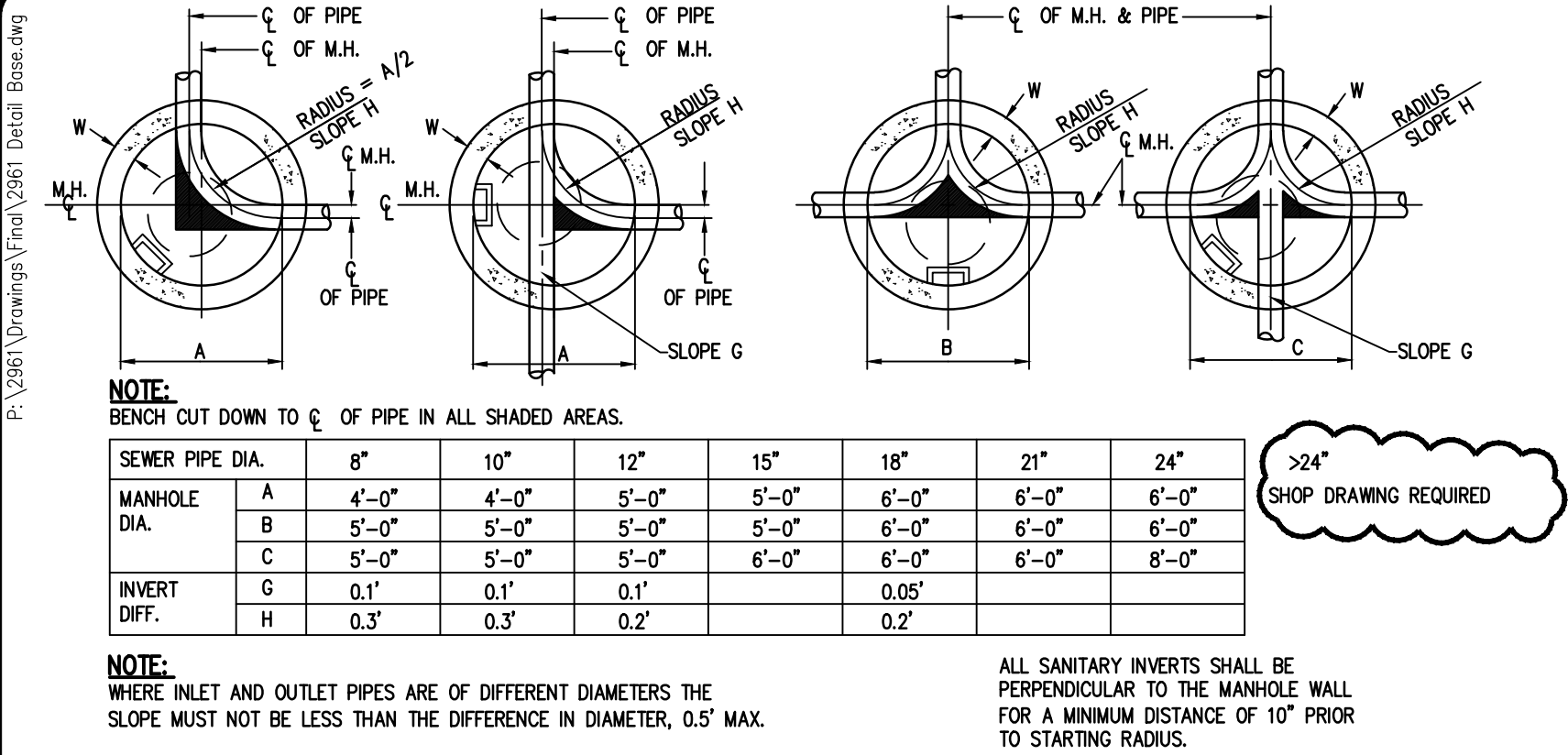
**1048 SHOECRAFT ROAD**  
PRELIMINARY/FINAL  
TOWN OF WEBSTER, MONROE COUNTY, NEW YORK STATE  
SHOECRAFT ROAD APARTMENTS LLC

# DETAIL SHEET

PROJECT MANAGER	
L. SWEDROCK	
PROJECT ENGINEER	
M. SERENI	
DRAWN BY	
A. D'ANGELO	
SCALE	DATE ISSUED
N.T.S.	MARCH 11, 2025
PROJECT NO.	
2961	
DRAWING NO.	
10	
(SHEET 2 OF 4)	



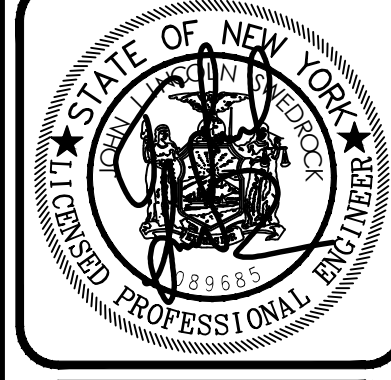
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Drawing Alteration  
The following is an exception from the New York State Education Law Article 145 Section 7209 and applies to this drawing:  
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way. If an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation 'Altered by' followed by his signature and the date of such alteration, and a specific description of the alteration."

REVISIONS	DATE	BY
1		
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**BME ASSOCIATES**  
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS  
WWW.BMEPC.COM  
10 LIFEBRIDGE LANE EAST  
FAIRPORT, NEW YORK 14450  
565-377-7360



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PRELIMINARY/FINAL  
TOWN OF WEBSTER, MONROE COUNTY, NEW YORK STATE  
SHOECRAFT ROAD APARTMENTS LLC  
1048 SHOECRAFT ROAD  
ONTARIO, NY 14519

**DETAIL SHEET**

PROJECT	LOCATION	CLIENT	DRAWING TITLE
PROJECT MANAGER	L. SWEDROCK	PROJECT ENGINEER	M. SERENI
DRAWN BY	A. D'ANGELO	SCALE	DATE ISSUED
N.T.S.	MARCH 11, 2025	PROJECT NO.	2961
DRAWING NO.	11	(SHEET 3 OF 4)	



